



MARK PESTRELLA, Director

COUNTY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

"To Enrich Lives Through Effective and Caring Service"

900 SOUTH FREMONT AVENUE
ALHAMBRA, CALIFORNIA 91803-1331
Telephone: (626) 458-5100
<http://dpw.lacounty.gov>

ADDRESS ALL CORRESPONDENCE TO:
P.O. BOX 1460
ALHAMBRA, CALIFORNIA 91802-1460

IN REPLY PLEASE

REFER TO FILE: **BRC-2**

July 28, 2026

NOTICE TO BIDDERS "C"

MAGIC JOHNSON PARK MAKE READY AND PARKING PROJECT SPECS. NO. 7918; C.P. NO. 8A189

This Notice to Bidders "C" extends the bid due date, clarifies certain portions of the Project Manual, provides responses to questions received, and forms a part of the Contract Documents.

BID EXTENSION DUE DATE

This Notice to Bidders extends the bid deadline from July 30, 2026, at 10:00 a.m., to **August 3, 2026, at 10:00 a.m.** All bids must be submitted via BidExpress. Bids will be publicly opened at 2:00 p.m. on August 3, 2026, and examined and declared by Los Angeles County Public Works using Microsoft Teams Meeting or a County-accepted platform. Bidders may participate in the public bid opening by visiting the Los Angeles County Public Works Business Opportunities website at dpw.lacounty.gov/contracts/opportunities.com, selecting the project, and clicking on the bid opening link. The bid opening link will be posted on July 30, 2026.

PROJECT MANUAL:

1. Refer to Section 00 03 00, Form of Bid. **Delete** the section in its entirety and **replace** with the attached revised Section 00 03 00 (Attachment 1).
2. **Add** Section 01 22 00, Unit Prices to the Project Manual (Attachment 2).
3. Refer to Section 01 23 00, Alternatives. **Delete** this section in its entirety and **replace** with the attached revised Section 01 23 00 (Attachment 3).

PLANS

1. Refer to Sheet G-O. **Delete** and **replace** with the attached Sheet G-O (Attachment 4).
2. Refer to Sheet C102. **Delete** and **replace** with the attached Sheet C102 (Attachment 5).
3. Refer to Sheet C105. **Delete** and **replace** with the attached Sheet C105 (Attachment 6).
4. Refer to Sheet C106. **Delete** and **replace** with the attached Sheet C106 (Attachment 7).
5. Refer to Sheet C107. **Delete** and **replace** with the attached Sheet C107 (Attachment 8).
6. Refer to Sheet C201. **Delete** and **replace** with the attached Sheet C201 (Attachment 9).
7. Refer to Sheet C202. **Delete** and **replace** with the attached Sheet C202 (Attachment 10).
8. Refer to Sheet C205. **Delete** and **replace** with the attached Sheet C205 (Attachment 11).
9. Refer to Sheet C206. **Delete** and **replace** with the attached Sheet C206 (Attachment 12).
10. Refer to Sheet C207. **Delete** and **replace** with the attached Sheet C207 (Attachment 13).
11. Refer to Sheet C208. **Delete** and **replace** with the attached Sheet C208 (Attachment 14).
12. Refer to Sheet C209. **Delete** and **replace** with the attached Sheet C209 (Attachment 15).
13. Refer to Sheet C404. **Delete** and **replace** with the attached Sheet C404 (Attachment 16).

Notice to Bidders "C"
July 28, 2026
Page 3

14. Note Attachments 4 through 16 are all dated July 22, 2026, and labeled as Revision 1.

QUESTIONS AND ANSWERS

Refer to the attached file labeled "RFI Log-BRC0000681 (Notice To Bidders C)" containing questions and answers in response to the questions received from bidders (Attachment 17).

Kindly notify your subcontractors to this effect. If you have any questions, please contact Ms. Ivonne Pena at (626) 458-2585 or ipena@pw.lacounty.gov.

Very truly yours,

MARK PESTRELLA, PE
Director of Public Works



SOO KIM
Division Chief
Business Relations and Contracts Division

BS:ip

Attach.

 Name of Bidder (Firm Name)

 Vendor Identification Number

SECTION 00 03 00
FORM OF BID TO BE USED BY BIDDERS

The undersigned proposes to furnish all materials, labor, and equipment required for the construction to complete the Magic Johnson Park Make Ready and Parking Project, in accordance with Drawings and Specifications 7918, including addenda thereto, if any, adopted by the Board of Supervisors, and on file in the office of the Board of Supervisors, as follows:

The lowest bid price shall be determined by adding the following items: Lump Sum Bid (1) + Bid Alternate 1 (2) + Bid Alternate 2 (3) Unit Price 1 (4) Multiplied by 50 +Unit Price 2 (5) Multiplied by 50+[Extended Overhead Daily Rate (6) x Multiplied by 30 days] = Total Lump Sum Bid. Preference as stated in Section 00 01 00, 1.30, will be applied to the Total Lump Sum Bid, if applicable, to determine the final total bid amount.

1. LUMP SUM BID:

The lump sum bid for the work, including Best Management Practices (BMP) and Construction and Demolition Debris Recycling, and Mandatory Jobs Coordinator requirements complete according to the Drawings and Specifications, will be:

(\$ _____) (_____)
 Lump sum bid in figures Lump sum bid in words

2. BID ALTERNATE 1:

The amount to be added to the Lump Sum Bid for inclusion of the work of Additive Alternate 1:

(\$ _____) (_____)
 Amount in figures Amount in words

3. BID ALTERNATE 2:

The amount to be added to the Lump Sum Bid for inclusion of the work of Additive Alternate 2:

(\$ _____) (_____)
 Amount in figures Amount in words

4. UNIT PRICE 1:

Asphaltic Concrete Paving (Removal):

\$_____ per cubic yard
 6"-thick top course throughout parking lot
 Base Estimate Quantity: 50 cubic yards

5. UNIT PRICE 2:

Parking lot base course (Removal)

\$_____ per cubic yard.
 8"-thick base course throughout parking lot
 Base Estimate Quantity: 50 cubic yards

6. EXTENDED OVERHEAD DAILY RATE:

The daily rate for the sum of the Contractor's field office and home office overhead applicable to this project, for each day of compensable delay will be:

(\$ _____) (_____)
 Daily rate in figures Daily rate in words

7. COUNTY PROGRAM PREFERENCE:

The Local Small Business Enterprise Program Preference is provided by the County for purposes of bid evaluation only, as specified in Article 1.30 of Section 00 01 00. If Bidder is a qualifying Local Small Business Enterprise, check "yes" in the box below. Bidder shall be certified by the County of Los Angeles Department of Economic Opportunity at time of bid. Section 00 04 38 Request for County Program Preference Consideration must be submitted at the time of bid with a copy of the certification letter issued by the County of Los Angeles Department of Economic Opportunity. If non-qualifying, check "no" in the appropriate box.

LSBE Certification for Non-Federally Funded County Solicitations

Yes

☐

No

☐

8. RECEIPT OF NOTICE TO BIDDERS:

I hereby certify and declare that I have received, reviewed and incorporated Notice to Bidders A dated July 21, 2026, and Notice to Bidders B dated July 23, 2026, Notice to Bidders C dated July 28, 2026, into my Bid.

Executed this day of _____ (Month and Year)

By: _____
(Authorized Signature of a Principal Owner, Officer, or Manager)

NOTE: Any alteration or addition to the Form of Bid may invalidate same. All blank spaces shall be filled out completely. Line out nonapplicable blanks. An incomplete form may invalidate bid. The County reserves the right to waive any informalities or to reject any or all bids or to accept any alternatives when called for.

I (We) certify that on _____, 20____, License No. _____, license classification(s) _____, was issued to me (us), in the name of _____, by the Contractors' State License Board, pursuant to California Statutes of 1929, as amended, and that said license has not been revoked.

Firm Ownership Information

Check where applicable:

1. ☐ Minority-Owned
☐ Woman-Owned
☐ Disadvantaged-Owned
☐ Disabled Veteran-Owned
☐ LGBTQQ-Owned

2. ☐ An individual
☐ A corporation. Name
state or territory of
Incorporation

- ☐ A copartnership
☐ A joint venture

Race/Ethnic Composition

For statistical purposes only.

- ☐ Black/African American
☐ Hispanic/Latino
☐ Asian or Pacific Islander
☐ Native Americans
☐ Subcontinent Asian
☐ White

If a copartnership or joint
venture, list names of
individuals comprising same
below

Date signed _____, 20____

Respectfully submitted,

Place _____
City and State

Firm Name (if applicable)

Bidder's address, E-mail address, and telephone:

Number and Street

Signature and Print Name

City and State Zip Code

Title and E-mail Address

Telephone

Signature and Print Name

Fax

Title and E-mail Address

SECTION 01 22 00

UNIT PRICES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

Drawings and general provisions of the Contract, including Division 1 of the Specifications Sections, apply to this Section.

The base contract shall include all the work indicated in the construction documents.

1.2 SUMMARY

This Section includes administrative and procedural requirements for unit prices.

1.3 DEFINITIONS

Unit price is an amount proposed by bidders, stated on the Bid Form, as a price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if the estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

1. Unit prices include all necessary material, plus cost for delivery, installation, equipment, insurance, overhead, profit, and applicable taxes.
2. Unit prices shall remain in effect 6 months after Final Completion of the Project.
3. Measurement and Payment: Refer to individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
4. Schedule: A Unit Price Schedule is included at the end of this Section. Specification Sections referenced in the Schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not available)

PART 3 - EXECUTION

3.1 UNIT PRICE SCHEDULE (Unit Prices will be used in the evaluation of the bid as set forth in Section 00 01 00, Instructions to Bidders, Article 1.14d., and Section 00 03 00, Form of Bid.

1. Asphaltic Concrete Paving (Removal):

\$_____ per cubic yard
6"-thick top course throughout parking lot
Base Estimate Quantity: 50 cubic yards

2. Parking lot base course (Removal)

\$_____ per 50 cubic yard.
8"-thick base course throughout parking lot
Base Estimate Quantity: 50 cubic yards

* * * *

SECTION 01 23 00**ALTERNATIVES****PART 1 - GENERAL****1.01 DESCRIPTION**

- A. The Alternative proposals as identified on the drawings and described herein shall state the net sum to be **added to** Lump Sum Bid in the event that the Alternative proposal is included. Dollar amounts for Alternative proposals shall be inserted in the "Form of Bid".
- B. If the County determines to award a contract, it shall be awarded to a responsive and responsible Bidder with the lowest bid price. If there are alternatives, the lowest bid price shall be determined by adding the lump sum bid and the price of all alternatives. This does not preclude the Board of Supervisors from selecting any combination of alternates after the lowest responsible bidder has been determined.
- C. Include in the Alternative proposal all changes in cost resulting in the work of all trades affected thereby. Work shall be performed in accordance with the drawings and specifications affected unless otherwise specified.
- D. Contractor shall determine to his own satisfaction the extent the work is affected by the Alternative proposals and shall make full and proper allowance therefore in the preparation of this proposal.

1.02 BID ALTERNATIVES:

- 1. Additive Alternate No. 1
The scope described in Division 31 32 00 Fences and Gates, and identified as Alternative in Exhibit C-104.1.
- 2. Additive Alternate No. 2
The alternative scope consists of providing and installing gravel in lieu of mulch in the areas as identified in bid drawings L3.11 and L3.12 both dated June 1, 2026, and as specified in legend on bid drawing L3.00, dated June 1, 2026.

* * *

MAGIC JOHNSON PARK MAKE READY AND PARKING PROJECT

Los Angeles County Department of Public Works

Project ID 00002404

Project P9700273

CIVIL ENGINEER

BARBARA L. HALL, P.E., INC.
318 WEST EVERGREEN AVENUE
MONROVIA, CA 91016
BARBARA L. HALL
TEL. (626) 256-3220
FAX (626) 256-3218

ARCHITECT

PAUL MURDOCH ARCHITECTS
6310 SAN VICENTE BLVD.
SUITE 400
LOS ANGELES, CA 90048
TEL. (310) 358-0993

ELECTRICAL ENGINEER

BUDLONG
635 W. 5TH ST.,
SUITE 675
LOS ANGELES, CA 90071
TEL. (909) 232-4679

LANDSCAPE ARCHITECT

MIG
360 EAST SECOND STREET
SUITE 1425
LOS ANGELES, CA 90012
TEL. (213) 694-3800

TRANSPORTATION ENGINEER

FEHR AND PEERS
100 OCEANGATE
SUITE 1425
LONG BEACH, CA 90802
TEL. (562) 294-5848

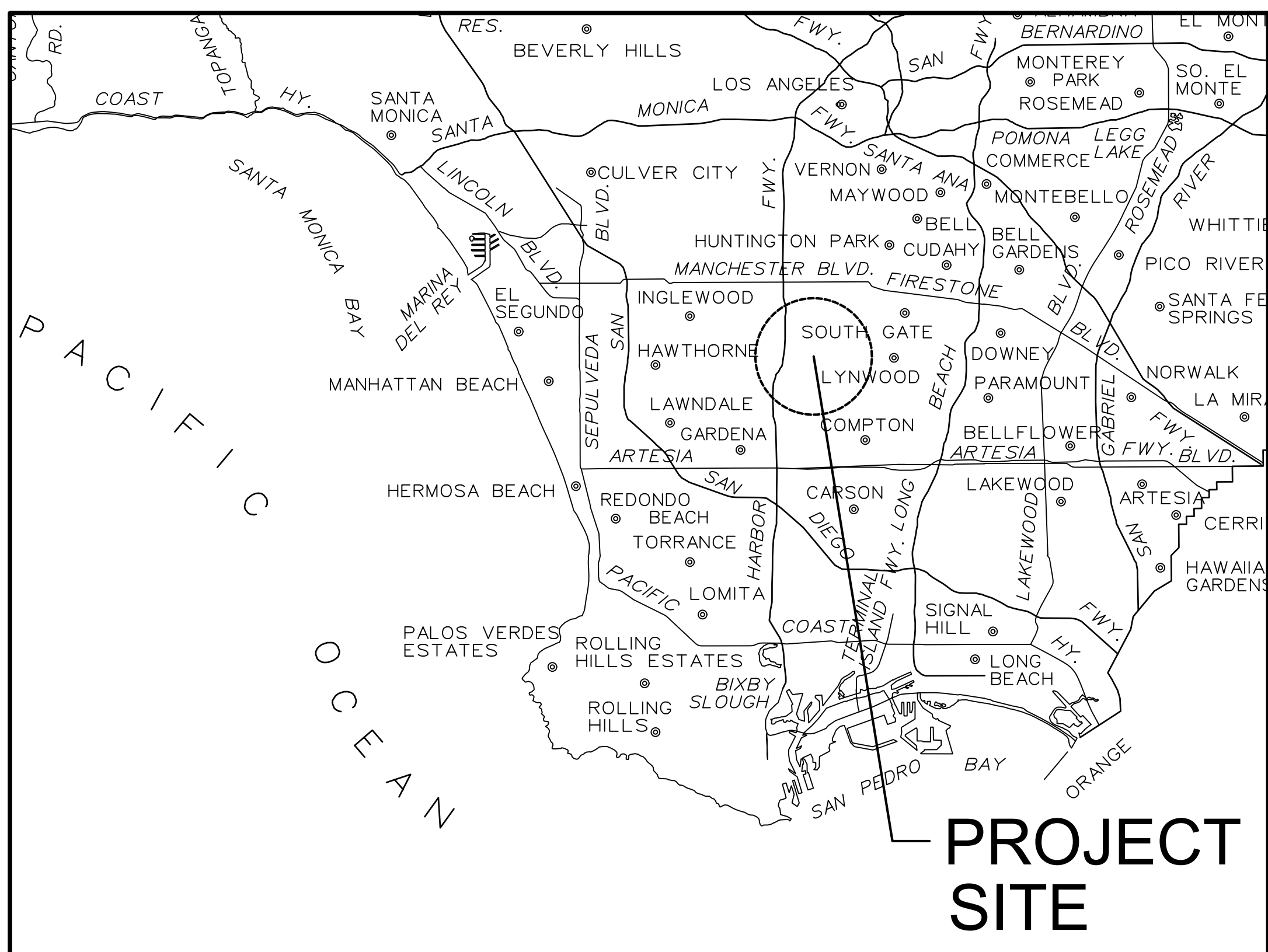
GEOTECHNICAL ENGINEER CLIENT / OWNER

GEOCON WEST, INC.
500 N. VICTORY BOULEVARD
BURBANK, CA 91502
TEL. (818) 841-8388

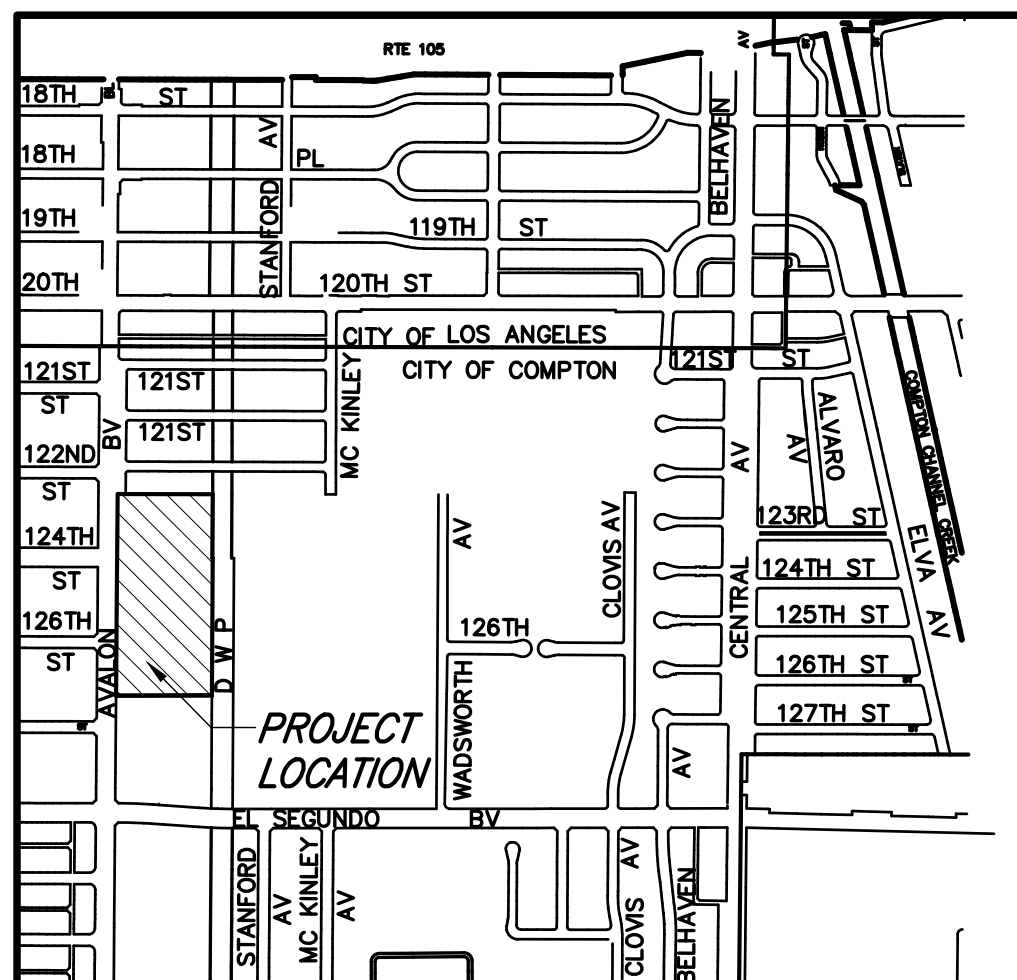
PROJECT NO. W1500-06-29
DATE OF REPORT: MAY 8, 2026
AND REVISED: JUNE 5, 2026

LOS ANGELES COUNTY
DEPARTMENT OF PUBLIC WORKS
900 S. FREMONT AVENUE
ALHAMBRA, CA 91803
TEL. (626) 300-2632

Site Address: 12416 AVALON BOULEVARD
LOS ANGELES, CA 90061



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

GENERAL INFORMATION

PROJECT SCOPE

THE PROJECT IS LOCATED AT 12416 AVALON BLVD., LOS ANGELES, CALIFORNIA 90061 ON APPROXIMATELY 12 ACRES AT THE WEST SIDE OF THE EARVIN "MAGIC" JOHNSON RECREATION AREA. THE SCOPE OF WORK IS TO PREPARE THE SITE (MAKE READY WORK) FOR A FUTURE BUILDING. SCOPE INCLUDES:

DEMOLITION OF EXISTING PARKING LOT AND CONCRETE WALKWAYS.
REMOVE EXISTING DRIVEWAY.
CLEARING OF EXISTING SITE INCLUDING REMOVAL OF TREES,
NEW EMPLOYEE AND VISITORS PARKING LOT
NEW DRIVEWAYS
RELOCATE PEDESTRIAN PARK WALKWAY
LANDSCAPING
PARKING LOT SOLAR LIGHTING
TRAFFIC LIGHT MODIFICATION
OFF-SITE IMPROVEMENTS
RELOCATE UTILITY LINES

FUTURE BUILDING

NOT A PART OF THE PROJECT SCOPE

APPLICABLE CODES AND STANDARDS

2022 CALIFORNIA STANDARD BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA FIRE CODE
2023 LOS ANGELES BUILDING CODE
2010 AMERICANS WITH DISABILITIES ACT (ADA) TITLE II

OWNER

LOS ANGELES COUNTY PUBLIC WORKS

PROJECT ADDRESS

12416 AVALON BLVD.,
LOS ANGELES, CA 90061

PARCEL/ASSESSOR'S ID NO.

6086-031-914
6086-031-915

INDEX OF DRAWINGS

SHEET #	DESCRIPTION
G-0	TITLE COVER SHEET
G-1	ABBREVIATIONS AND TYPICAL LEGEND
R-0	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)
R-1	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)
R-2	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)
R-3	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)
R-4	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)
A100	ARCHITECTURAL
A101	SITE PLAN - FOR REFERENCE ONLY
A101	SITE PLAN - PATH OF TRAVEL
C101	CIVIL
C101	GENERAL NOTES
C102	DEMOLITION PLAN
C103	NOT USED
C104	OVERALL SITE PLAN
C105	PARTIAL SITE PLAN NORTH LOT
C106	PARTIAL SITE PLAN
C107	PARTIAL SITE PLAN SOUTH LOT
C108	STRIPING PLAN
C109	STRIPING PLAN
C110	HORIZONTAL CONTROL PLAN
C111	HORIZONTAL CONTROL PLAN
C112	HORIZONTAL CONTROL PLAN
C200	SITE DRAINAGE
C201	GRADING PLAN NORTH LOT
C202	GRADING PLAN
C203	GRADING PLAN
C204	GRADING PLAN
C205	GRADING PLAN
C206	GRADING PLAN SOUTH LOT
C207	GRADING PLAN
C208	GRADING PLAN
C209	GRADING PLAN
C210	SECTIONS
C301	STORM DRAIN PLAN
C302	STORM DRAIN PLAN
C303	UTILITY PLAN
C304	UTILITY PLAN
C401	DETAILS
C402	DETAILS
C403	DETAILS
C404	DETAILS
C405	DETAILS
C406	DETAILS
C501	SWPPP NOTES
C502	SWPPP/EROSION CONTROL PLAN
E101	ELECTRICAL
E102	ELECTRICAL FRONT SHEET
E201	ELECTRICAL LIGHT FIXTURE SCHEDULE
E202	ELECTRICAL DEMOLITION SITE PLAN
E203	ELECTRICAL SITE PLAN
E301	ELECTRICAL PHOTOMETRIC PLAN
E301	ELECTRICAL T-24 OUTDOOR LIGHTING
L0.00	LANDSCAPE
L0.01	LANDSCAPE COVER SHEET
L0.02	LANDSCAPE INDEX, SCHEDULE, AND NOTES
L0.10	SOIL MANAGEMENT REPORT
L0.40	OVERALL LANDSCAPE PLAN
L0.41	TREE DISPOSITION NOTES
L0.42	TREE DISPOSITION PLAN
L1.11	LANDSCAPE CONSTRUCTION PLAN
L1.12	LANDSCAPE CONSTRUCTION PLAN
L1.51	LANDSCAPE CONSTRUCTION DETAILS
L2.00	LANDSCAPE IRRIGATION LEGEND AND NOTES
L2.01	LANDSCAPE IRRIGATION NOTES
L2.11	LANDSCAPE IRRIGATION PLAN
L2.12	LANDSCAPE IRRIGATION PLAN
L2.13	LANDSCAPE IRRIGATION PLAN
L2.51	LANDSCAPE IRRIGATION DETAILS
L2.52	LANDSCAPE IRRIGATION DETAILS
L3.00	LANDSCAPE PLANTING LEGEND & NOTES
L3.11	LANDSCAPE PLANTING PLAN
L3.12	LANDSCAPE PLANTING PLAN
L3.13	LANDSCAPE PLANTING PLAN
L3.20	LANDSCAPE TREE SHADE PLAN - PARKING LOTS
L3.51	LANDSCAPE PLANTING DETAILS
T2-1	TRAFFIC
SS-1	TRAFFIC SIGNAL PLAN
1	SIGNING AND STRIPING PLAN
2	STREET IMPROVEMENT
3	TITLE SHEET
4	GENERAL NOTES, STORMWATER POLLUTION PLAN NOTES, CMB NOTES
	AVALON BOULEVARD - FROM (117+71.49 TO 106+00)
	ENLARGEMENT PLANS



LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M
RODM TAG IN N CB 1FT W/O BCR @ NW COR
MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 2013
NAV088

Barbara L. Hall, P.E., Inc.

318 West Evergreen Avenue
Monrovia, CA 91016
Phone: (626) 256-3220
Fax: (626) 256-3218



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 558-0993

THE DRAWINGS AND SPECIFICATIONS AND IDEAS
DESIGN AND ARRANGEMENTS REPRESENTED
THEREIN ARE AND SHALL REMAIN THE PROPERTY
OF THE ARCHITECT, AND NO PART THEREOF SHALL
BE COPIED, DISCLOSED TO OTHERS, OR USED IN
CONNECTION WITH ANY WORK OR PROJECT OTHER
THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE
BEEN PREPARED AND DEVELOPED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT. VISUAL
CONTACT WITH THESE DRAWINGS OR
SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE
EVIDENCE OF ACCEPTANCE OF THESE
RESTRICTIONS. WRITTEN DIMENSIONS ON THESE
DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED
DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE
RESPONSIBLE FOR ALL DIMENSIONS AND
CONDITIONS ON THE JOB AND THIS OFFICE MUST BE
NOTIFIED OF ANY VARIATIONS FROM THE
DIMENSIONS AND CONDITIONS SHOWN BY THESE
DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO
THIS OFFICE FOR REVIEW BEFORE PROCEEDING
WITH FABRICATION



07/22/2026 BID RFI

NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PROJECT NO.

21023.01

DRAWING TITLE

TITLE COVER
SHEET

SCALE

AS SHOWN

DATE

06/01/2026

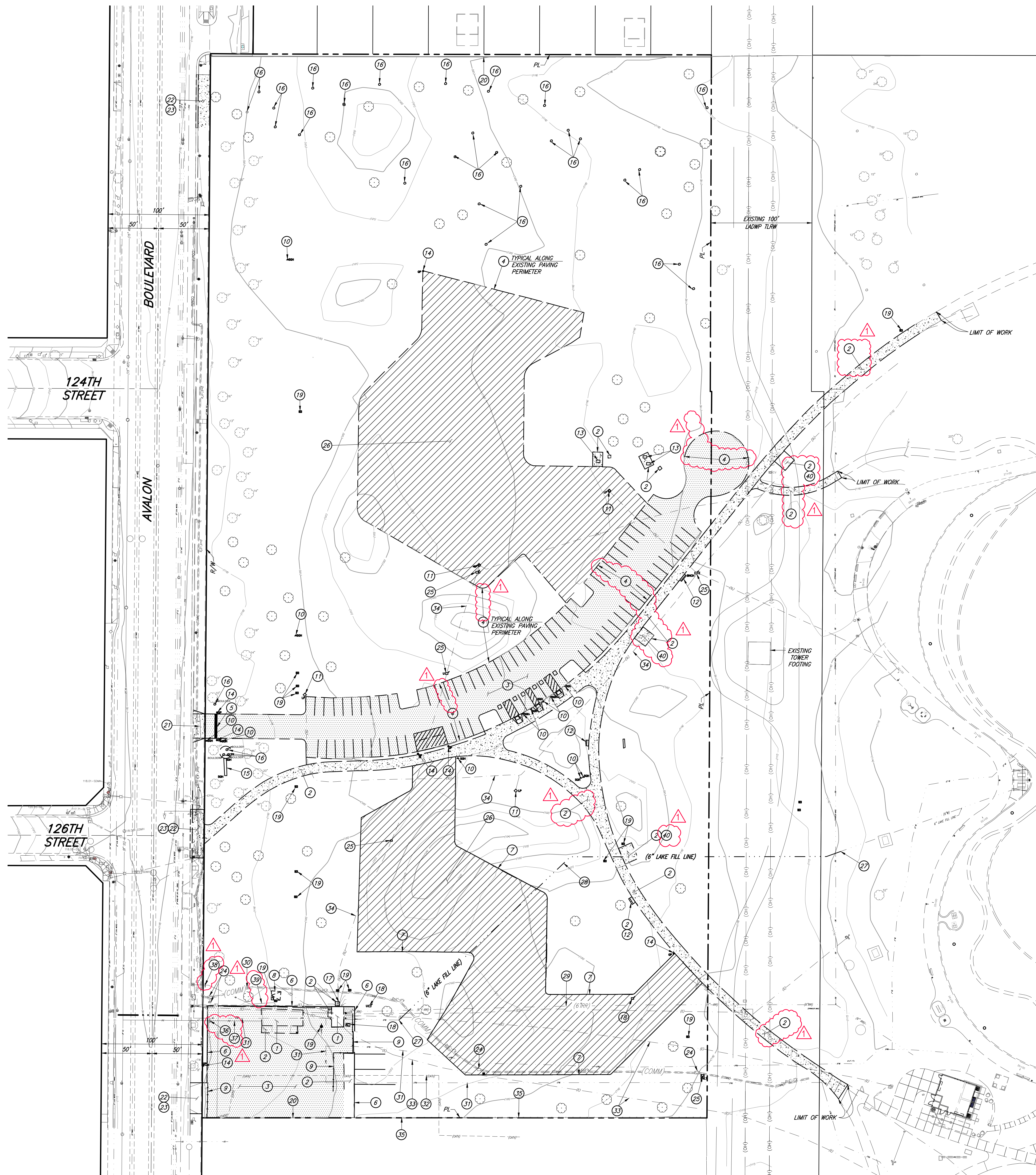
DESIGN

VC

SHEET NO.

BLH

G-0



DEMOLITION NOTES:

- 1 REMOVE EXISTING BUILDING & FOUNDATION FOOTING.
- 2 REMOVE EXISTING CONCRETE PAVING & BASE.
- 3 REMOVE EXISTING ASPHALT PAVING & BASE.
- 4 REMOVE EXISTING CONCRETE CURB.
- 5 REMOVE EXISTING TRENCH DRAIN. CONTRACTOR TO LOCATE AND REMOVE ASSOCIATED STORM DRAIN PIPING.
- 6 REMOVE EXISTING BLOCK WALL & FOOTING.
- 7 REMOVE EXISTING LAWN STRIP.
- 8 REMOVE EXISTING UTILITY VAULT. CONTRACTOR TO INVESTIGATE UTILITY AND COORDINATE REMOVAL WITH UTILITY COMPANY.
- 9 REMOVE EXISTING CHAIN LINK FENCE/GATE.
- 10 REMOVE EXISTING SIGN, POST & FOOTING.
- 11 REMOVE EXISTING LIGHT POST & FOOTING.
- 12 REMOVE EXISTING BENCH. SALVAGE FOR REUSE.
- 13 REMOVE EXISTING PICNIC TABLE. SALVAGE FOR REUSE.
- 14 REMOVE EXISTING GUARD POST.
- 15 REMOVE EXISTING MONUMENT SIGN. SALVAGE AND RETURN TO OWNER.
- 16 REMOVE EXISTING BOULDER.
- 17 REMOVE EXISTING ELECTRICAL PANEL.
- 18 REMOVE EXISTING UTILITY PULLBOX. CONTRACTOR TO INVESTIGATE UTILITY AND COORDINATE REMOVAL WITH UTILITY COMPANY.
- 19 REMOVE EXISTING IRRIGATION CONTROL VALVE. CONTRACTOR TO DETERMINE WHETHER OR NOT IRRIGATION LINE IS IN USE & NOTIFY ENGINEER.
- 20 PROTECT EXISTING WALL IN PLACE.
- 21 REMOVE EXISTING DRIVEWAY APRON. SEE STREET IMPROVEMENT PLANS.
- 22 REMOVE EXISTING SIDEWALK. SEE STREET IMPROVEMENT PLANS.
- 23 REMOVE EXISTING CURB AND GUTTER. SEE STREET IMPROVEMENT PLANS.
- 24 PROTECT EXISTING COMMUNICATIONS VAULT.
- 25 REMOVE EXISTING ELECTRIC PULLBOX.
- 26 REMOVE EXISTING DECOMPOSED GRANITE.
- 27 CUT & CAP EXISTING LAKE FILL LINE. SEE SHEET C304 FOR REROUTING OF 6" LAKE FILL LINE.
- 28 REMOVE EXISTING LAKE FILL LINE.
- 29 PROTECT EXISTING SPRINKLER MAIN IN PLACE.
- 30 PROTECT EXISTING COMMUNICATIONS CONDUIT IN PLACE.
- 31 PROTECT EXISTING WATER PIPE IN PLACE.
- 32 PROTECT EXISTING CABLE CONDUIT IN PLACE.
- 33 PROTECT EXISTING ELECTRICAL CONDUIT IN PLACE.
- 34 REMOVE EXISTING LIGHTING CONDUIT.
- 35 PROTECT EXISTING CHAIN LINK FENCE IN PLACE.
- 36 CUT & CAP EXISTING SEWER LATERAL. FIELD VERIFY SIZE & LOCATION.
- 37 REMOVE EXISTING SEWER LATERAL.
- 38 CUT & CAP EXISTING RESTROOM WATER SERVICE LINE. FIELD VERIFY SIZE & LOCATION.
- 39 REMOVE EXISTING RESTROOM WATER SERVICE LINE.
- 40 REMOVE EXISTING EXERCISE EQUIPMENT.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR REMOVING DEMOLISHED ITEMS OFF SITE AND SHALL DISPOSE OF THESE ITEMS AT A LEGAL DUMP SITE UNLESS OTHERWISE NOTED.

SEE LANDSCAPE PLANS FOR DISPOSITION OF EXISTING TREES.

NOTE:
SEE STREET IMPROVEMENT PLAN
EIM 2026000174 FOR IMPROVEMENTS IN
THE PUBLIC RIGHT OF WAY.

LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M
RODM TAG IN N CB 1FT W/O BOR @ NW COR
MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 2013
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REGISTERED PROFESSIONAL ENGINEER
Barbara L. Hall
No. 42206
Exp. 03/31/28
CIVIL
STATE OF CALIFORNIA

PW
Public Works
LOS ANGELES COUNTY

COUNTY OF LOS ANGELES
CALIFORNIA

07/22/2028 BID RFI
NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PROJECT NO.
21023.01

DRAWING TITLE
DEMOLITION
PLAN

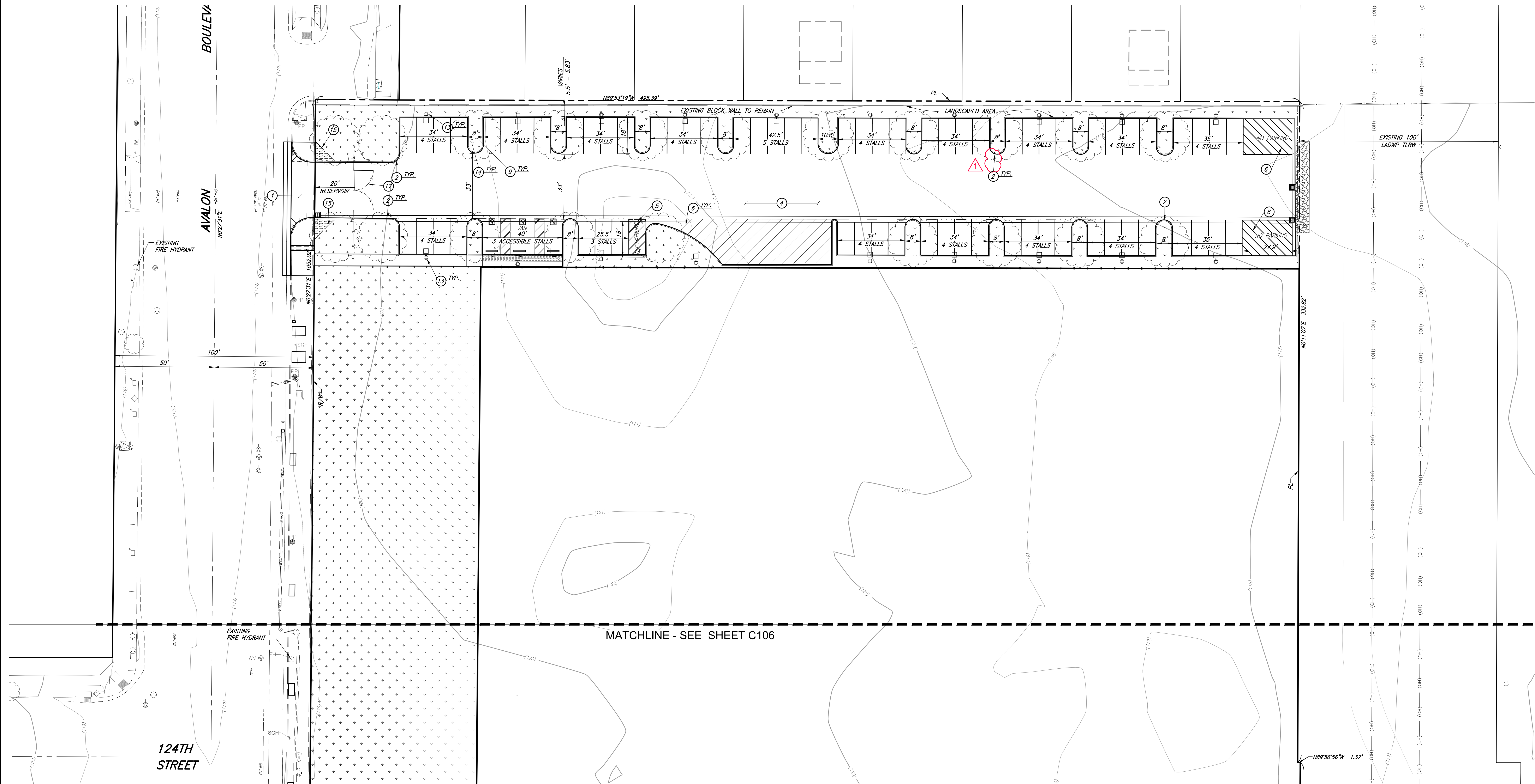
SCALE
AS SHOWN

DATE
06/01/2026

DESIGNER
VC

CHECKED
BLH

SHEET NO.
C102



CONSTRUCTION NOTES:

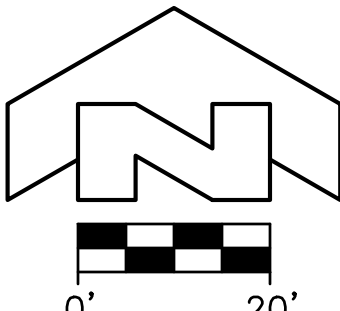
- 1 DRIVEWAY. SEE GRADING PLAN.
- 2 CONCRETE CURB. SEE GRADING PLAN.
- 3 PEDESTRIAN PCC PAVEMENT. SEE GRADING PLAN.
- 4 ASPHALT CONCRETE PAVEMENT. SEE GRADING PLAN.
- 5 ACCESSIBLE STRIPING. SEE STRIPING PLAN.
- 6 4" WIDE WHITE DIAGONAL STRIPING. SEE STRIPING PLAN.
- 7 STANDARD STALL STRIPING. SEE STRIPING PLAN.
- 8 EXERCISE EQUIPMENT. SEE LANDSCAPE PLANS.
- 9 SEE LANDSCAPE PLANS FOR TREE DISPOSITION.
- 10 REMOVE EXISTING DRIVEWAY. SEE DEMOLITION PLAN.
- 11 CONCRETE SIDEWALK. SEE GRADING PLAN.
- 12 CURB AND GUTTER. SEE GRADING PLAN.

- 13 LIGHT FIXTURE PER ELECTRICAL PLANS.
- 14 LANDSCAPING. SEE LANDSCAPE PLANS.
- 15 10' X 10' VISIBILITY TRIANGLE AT RIGHT OF WAY. THERE SHALL BE NO OBSTRUCTIONS HIGHER THAN 42" WITHIN VISIBILITY TRIANGLE.
- 16 SCREEN WALL. SEE GRADING PLAN.
- 17 TEMPORARY GATE TO PRIVATE ACCESS PARKING LOT. SEE SITE PLAN, SHEET A101.

LEGEND

- CHAIN LINK FENCE
- ASPHALT CONCRETE PAVEMENT
- LANDSCAPING
- PEDESTRIAN PCC PAVEMENT
- VISIBILITY TRIANGLE
- CONCRETE RIP-RAP

NOTE:
SEE STREET IMPROVEMENT PLAN
EIM 2026000174 FOR IMPROVEMENTS IN
THE PUBLIC RIGHT OF WAY.



LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M
RODM TAG IN N CB 1FT W/O BCR @ NW COR
MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 2013
NAV088

Barbara L. Hall, P.E., Inc.
318 West Evergreen Avenue
Monrovia, CA 91016
Phone: (626) 256-3220
Fax: (626) 256-3218

PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 558-0995

THE DRAWINGS AND SPECIFICATIONS AND IDEAS,
DESIGN, AND ARRANGEMENTS REPRESENTED
THEREIN ARE AND SHALL REMAIN THE PROPERTY
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BE COPIED, DISCLOSED TO OTHERS, OR USED IN
CONNECTION WITH ANY WORK OR PROJECT OTHER
THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE
BEEN PREPARED AND DEVELOPED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT. VISUAL
CONTACT WITH THESE DRAWINGS OR
SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE
EVIDENCE OF ACCEPTANCE OF THESE
RESTRICTIONS. WRITTEN DIMENSIONS ON THESE
DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED
DIMENSIONS. CONTRACTORS SHALL VERIFY AND
BE RESPONSIBLE FOR ALL DIMENSIONS AND
CONDITIONS ON THE JOB AND THIS OFFICE MUST BE
NOTIFIED OF ANY VARIATIONS FROM THE
DIMENSIONS AND CONDITIONS SHOWN BY THESE
DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO
THIS OFFICE FOR REVIEW BEFORE PROCEEDING
WITH FABRICATION.



07/22/2026 BID RFI
NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PROJECT NO.
21023.01

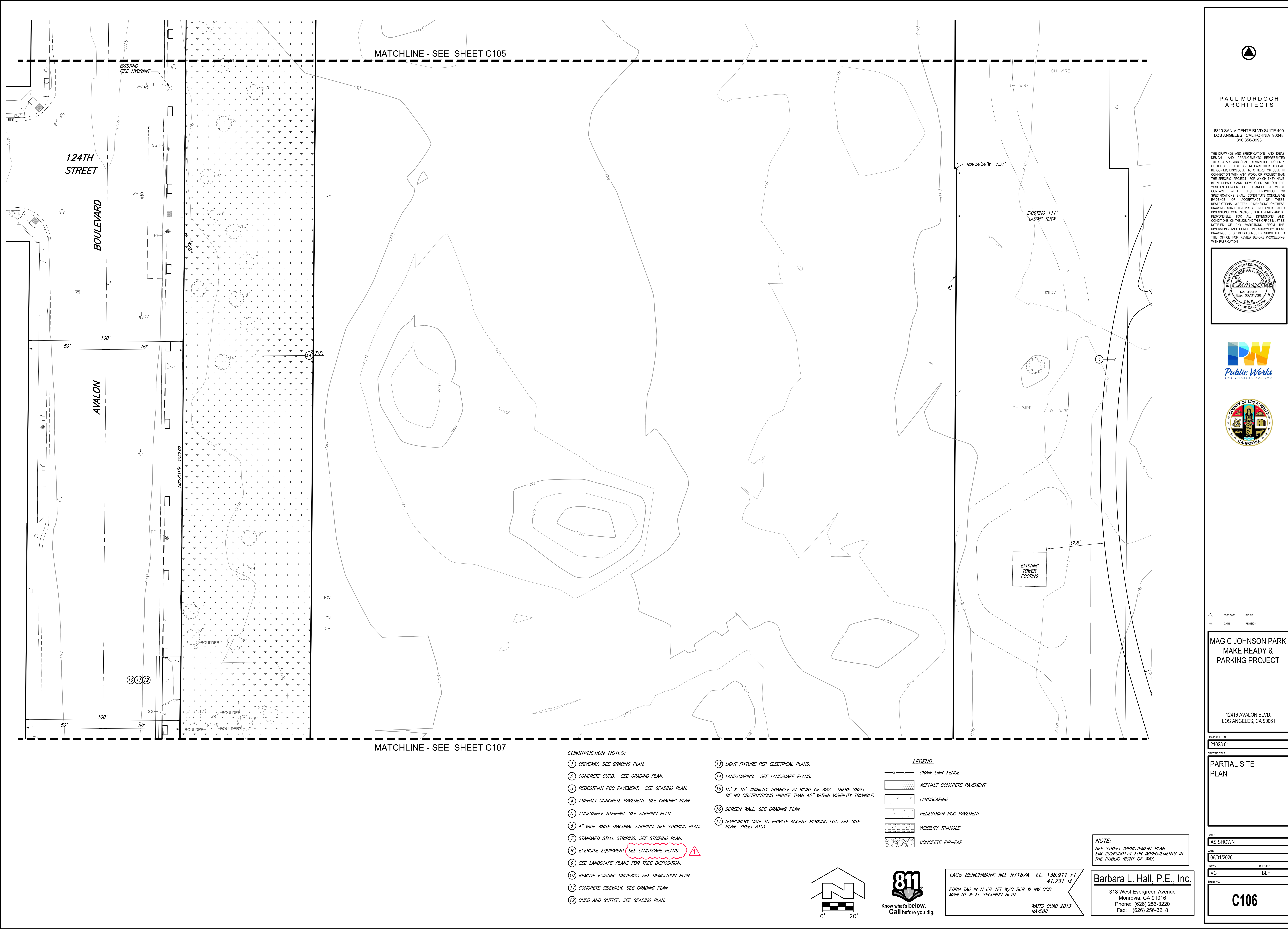
DRAWING TITLE
PARTIAL SITE
PLAN
NORTH LOT

SCALE
AS SHOWN

DATE
06/01/2026

DESIGNER
VC BLH

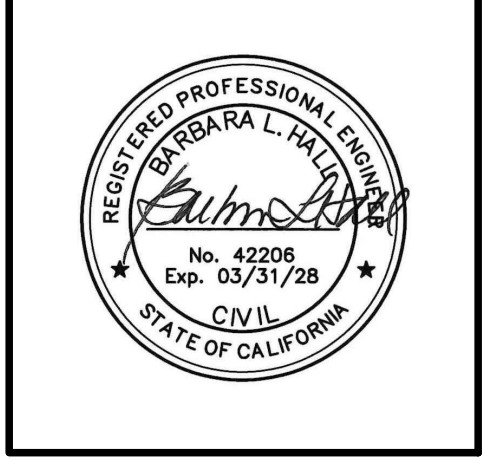
SHEET NO.
C105



PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310.558.0995

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NO.	DATE	REVISION
1	07/22/2026	BID RFI

**MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT**

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PAV PROJECT NO.
21023.01

DRAWING TITLE
**PARTIAL SITE
PLAN**

SCALE	AS SHOWN
DATE	06/01/2026
DRAWN	VC
CHECKED	BLH
SHEET NO.	

C106

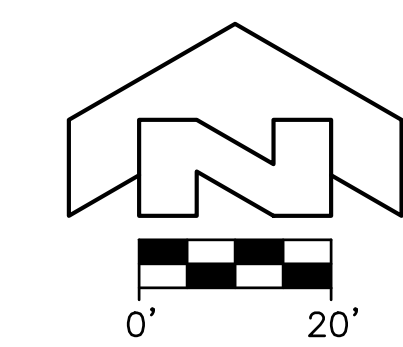
CONSTRUCTION NOTES:

- 1 DRIVEWAY. SEE GRADING PLAN.
- 2 CONCRETE CURB. SEE GRADING PLAN.
- 3 PEDESTRIAN PCC PAVEMENT. SEE GRADING PLAN.
- 4 ASPHALT CONCRETE PAVEMENT. SEE GRADING PLAN.
- 5 ACCESSIBLE STRIPING. SEE STRIPING PLAN.
- 6 4" WIDE WHITE DIAGONAL STRIPING. SEE STRIPING PLAN.
- 7 STANDARD STALL STRIPING. SEE STRIPING PLAN.
- 8 EXERCISE EQUIPMENT. SEE LANDSCAPE PLANS.
- 9 SEE LANDSCAPE PLANS FOR TREE DISPOSITION.
- 10 REMOVE EXISTING DRIVEWAY. SEE DEMOLITION PLAN.
- 11 CONCRETE SIDEWALK. SEE GRADING PLAN.
- 12 CURB AND GUTTER. SEE GRADING PLAN.
- 13 LIGHT FIXTURE PER ELECTRICAL PLANS.
- 14 LANDSCAPING. SEE LANDSCAPE PLANS.
- 15 10' X 10' VISIBILITY TRIANGLE AT RIGHT OF WAY. THERE SHALL BE NO OBSTRUCTIONS HIGHER THAN 42" WITHIN VISIBILITY TRIANGLE.
- 16 SCREEN WALL. SEE GRADING PLAN.
- 17 TEMPORARY GATE TO PRIVATE ACCESS PARKING LOT. SEE SITE PLAN, SHEET A101.

LEGEND

- CHAIN LINK FENCE
- ASPHALT CONCRETE PAVEMENT
- LANDSCAPING
- PEDESTRIAN PCC PAVEMENT
- VISIBILITY TRIANGLE
- CONCRETE RIP-RAP

NOTE:
SEE STREET IMPROVEMENT PLAN
EIM 2026000174 FOR IMPROVEMENTS IN
THE PUBLIC RIGHT OF WAY.



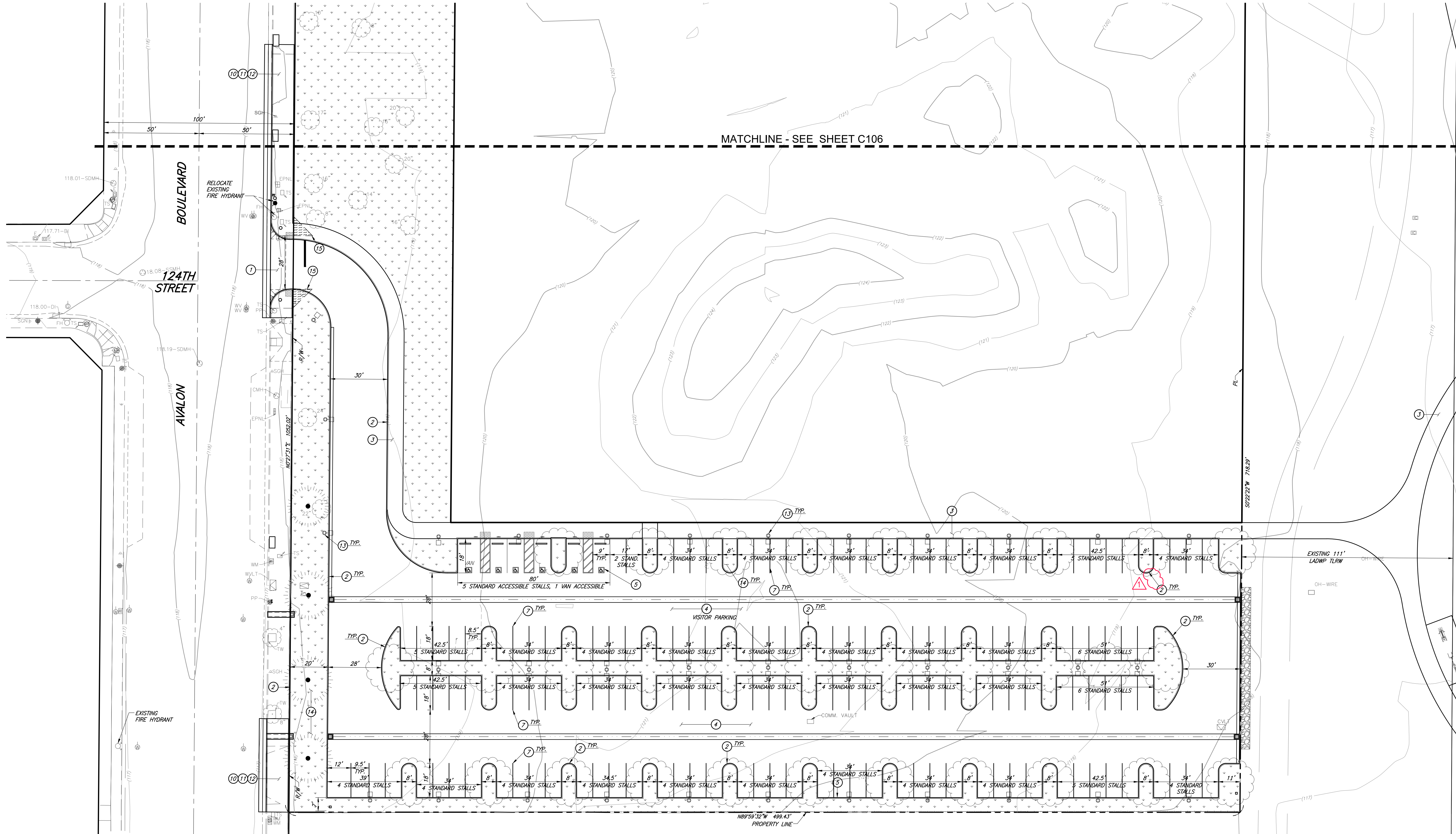
LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M

RODM TAG IN N CB 1FT W/O BOR @ NW COR
MAIN ST & EL SEGUNDO BLVD.

WATTS QUAD 2013
NAV088

Barbara L. Hall, P.E., Inc.

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Fax: (626) 256-3218



MATCHLINE - SEE SHEET C106

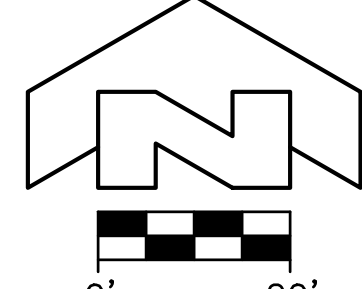
CONSTRUCTION NOTES:

- ① DRIVEWAY. SEE GRADING PLAN.
- ② CONCRETE CURB. SEE GRADING PLAN.
- ③ PEDESTRIAN PCC PAVEMENT. SEE GRADING PLAN.
- ④ ASPHALT CONCRETE PAVEMENT. SEE GRADING PLAN.
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- ⑦ STANDARD STALL STRIPING. SEE STRIPING PLAN.
- ⑧ EXERCISE EQUIPMENT. SEE LANDSCAPE PLANS.
- ⑨ SEE LANDSCAPE PLANS FOR TREE DISPOSITION.
- ⑩ REMOVE EXISTING DRIVEWAY. SEE DEMOLITION PLAN.
- ⑪ CONCRETE SIDEWALK. SEE GRADING PLAN.
- ⑫ CURB AND GUTTER. SEE GRADING PLAN.

- ⑬ LIGHT FIXTURE PER ELECTRICAL PLANS.
- ⑭ LANDSCAPING. SEE LANDSCAPE PLANS.
- ⑮ 10' X 10' VISIBILITY TRIANGLE AT RIGHT OF WAY. THERE SHALL BE NO OBSTRUCTIONS HIGHER THAN 42" WITHIN VISIBILITY TRIANGLE.
- ⑯ SCREEN WALL. SEE GRADING PLAN.
- ⑰ TEMPORARY GATE TO PRIVATE ACCESS PARKING LOT. SEE SITE PLAN, SHEET A101.

LEGEND

- CHAIN LINK FENCE
- ASPHALT CONCRETE PAVEMENT
- LANDSCAPING
- PEDESTRIAN PCC PAVEMENT
- VISIBILITY TRIANGLE
- CONCRETE RIP-RAP



LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M
ROOM TAG IN N CB 1FT W/O BOR @ NW COR
MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 1013
NAV088

NOTE:
SEE STREET IMPROVEMENT PLAN
EIM 2026000174 FOR IMPROVEMENTS IN
THE PUBLIC RIGHT OF WAY.

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PAUL MURDOCH
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LOS ANGELES, CALIFORNIA 90048
310.558.0995

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DESIGN AND ARRANGEMENTS REPRESENTED
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07/22/2026 BID RFI
NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PWA PROJECT NO.
21023.01

DRAWING TITLE
PARTIAL SITE
PLAN
SOUTH LOT

SCALE
AS SHOWN

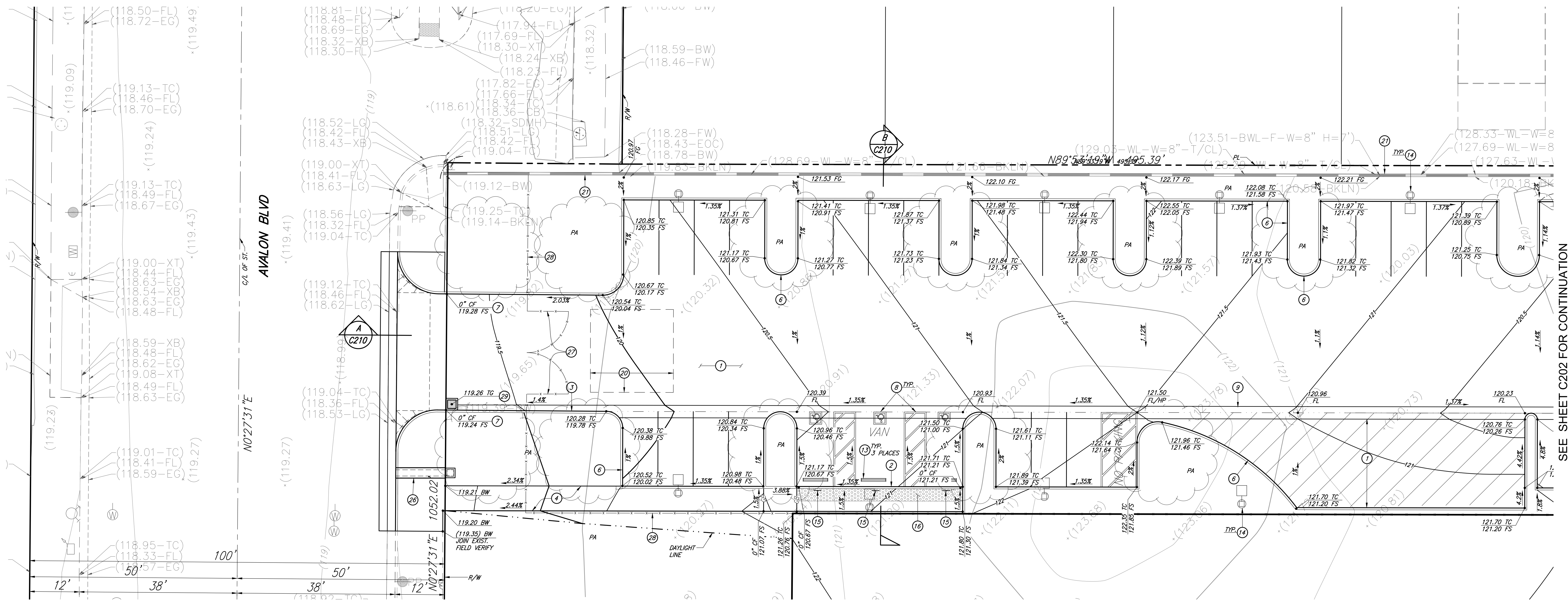
DATE
06/01/2026

DESIGNED BY
VC BLH

CHECKED BY

SHEET NO.

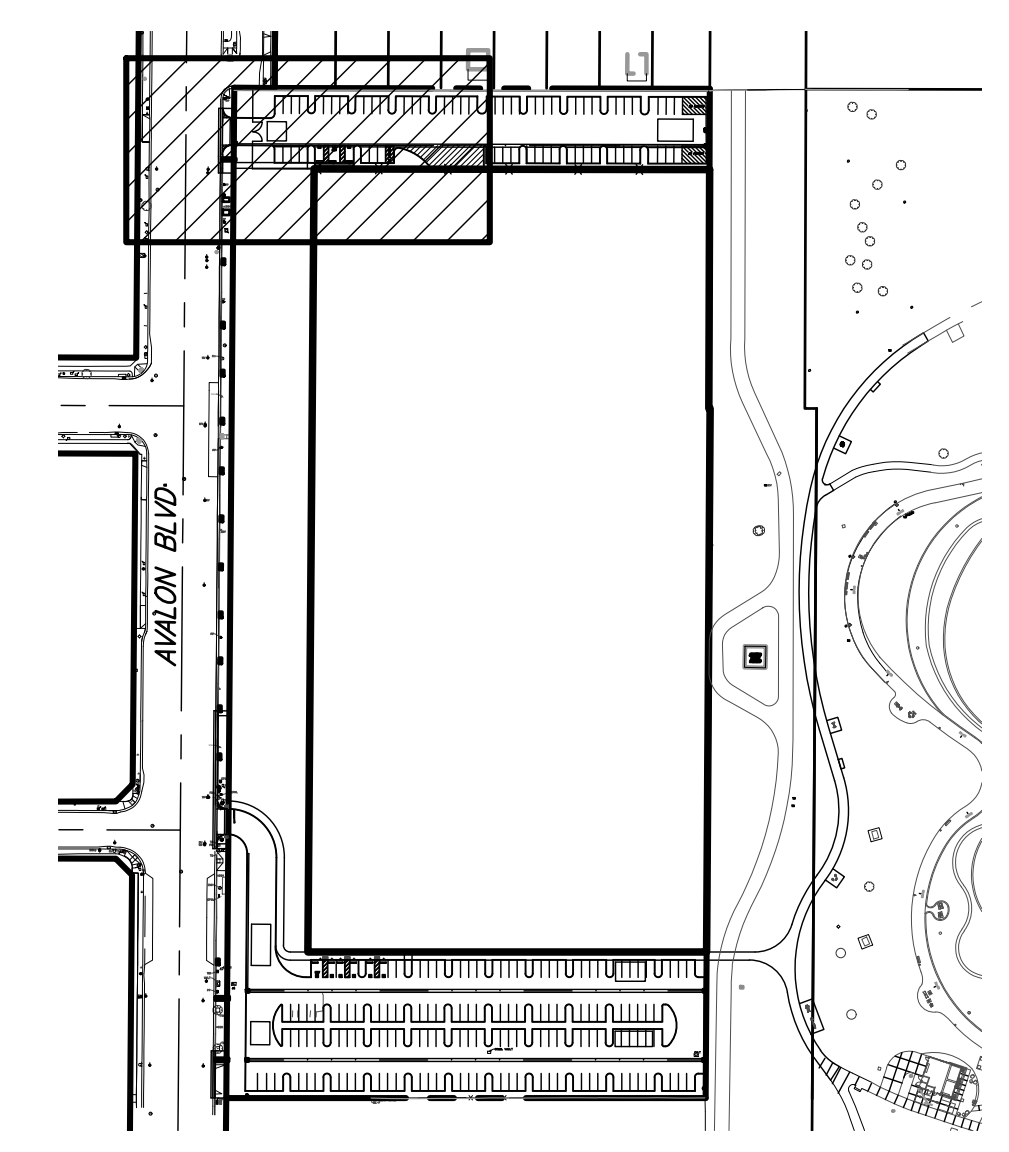
C107



SEE SHEET C203 FOR CONTINUATION

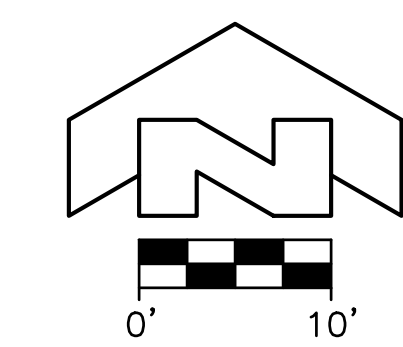
CONSTRUCTION NOTES:

1. CONSTRUCT AC PAVEMENT & BASE PER DETAIL 3 ON SHEET C401.
2. CONSTRUCT 0" CURB FACE PER DETAIL 2 ON SHEET C401.
3. CONSTRUCT CURB & GUTTER PER DETAIL 5 ON SHEET C401.
4. CONSTRUCT PEDESTRIAN PCC PAVEMENT PER DETAIL 1 ON SHEET C401.
5. DISTRIBUTION BOX. SEE STORM DRAIN PLAN SHEETS C301 & C302.
6. CONSTRUCT P.C.C. CURB PER DETAIL 4 ON SHEET C401.
7. CONSTRUCT 0" TO 6" CURB FACE TRANSITION PER DETAIL 10 ON SHEET C401.
8. PAINT ACCESSIBLE STALL STRIPING PER DETAIL 2 ON SHEET C402.
9. CONSTRUCT RIBBON GUTTER PER DETAIL 8 ON SHEET C401.
10. NOT USED.
11. CONSTRUCT 3' WIDE CURB OPENING.
12. NOT USED.
13. CONSTRUCT CONCRETE WHEEL STOP PER DETAIL 4 ON SHEET C402.
14. CONSTRUCT LIGHT POLE FOOTING PER DETAIL 11 ON SHEET C401. SEE ELECTRICAL PLANS FOR LIGHT POLES.
15. INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 1 ON SHEET C402.
16. INSTALL TRUNCATED DOMES PER DETAIL 5 ON SHEET C402.
17. NOT USED.
18. PROTECT EXISTING FENCE IN PLACE.
19. ADJUST EXISTING TO FINISH GRADE. SEE PLAN FOR TYPE.
20. INFILTRATION TRENCH. SEE STORM DRAIN PLAN SHEETS C301 & C302.
21. PROTECT EXISTING WALL IN PLACE.
22. FITNESS EQUIPMENT. SEE LANDSCAPE PLANS.
23. CONSTRUCT GRASSY DRAINAGE SWALE PER DETAIL 13 ON SHEET C401.
24. CONSTRUCT CONCRETE RIP-RAP PER DETAIL 12 ON SHEET C401.
25. CONSTRUCT PLANTER DRAIN. SEE STORM DRAIN PLAN.
26. PARKWAY DRAIN. SEE STREET PLANS.
27. CONSTRUCT CHAIN LINK VEHICULAR ACCESS GATE PER DETAIL 1 ON SHEET C404.
28. CONSTRUCT 8' HIGH CHAIN LINK FENCING & FOOTING PER DETAILS 2 & 3 ON SHEET C404.
29. FILTER CATCH BASIN. SEE STORM DRAIN PLAN C301.



SEE LANDSCAPE PLANS FOR DISPOSITION OF EXISTING AND PROPOSED TREES.

UTILITIES SHOWN ON PLANS ARE PROPOSED FOR REFERENCE ONLY AND SEPARATE PERMITS MAY BE REQUIRED.



LACo BENCHMARK NO. RY187A EL. 136.911 FT 41.731 M
RDBM TAG IN N CB 1FT W/O BOR @ NW COR MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 2013 NAVD88

Barbara L. Hall, P.E., Inc.
318 West Evergreen Avenue
Monrovia, CA 91016
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Fax: (626) 256-3218

PAUL MURDOCH ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 558-0995

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NO.	DATE	REVISION
1	07/22/2028	BID RFI

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PROJECT NO.
21023.01

DRAWING TITLE
GRADING PLAN
NORTH LOT

SCALE
AS SHOWN

DATE
06/01/2026

DESIGNED BY
VC BLH

SHEET NO.
C201



6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 358-0893

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	07/22/2006	BID RF
NO	DATE	CC-00

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PMA PROJECT NO.
21023.0

DRAWING TITLE

GRADING PLAN

SCALE
AS SHOWN

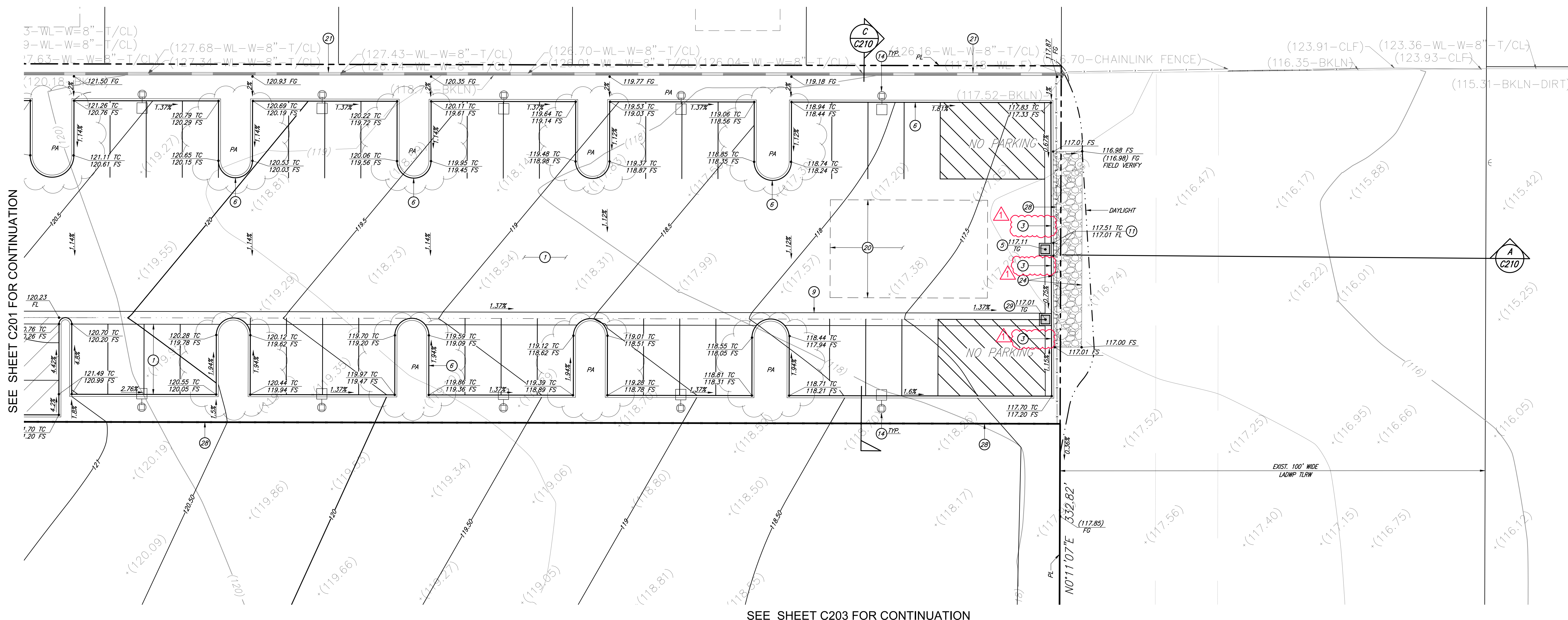
DATE
06/01/2026

DRAWN

VC

QUEST NO.

C202

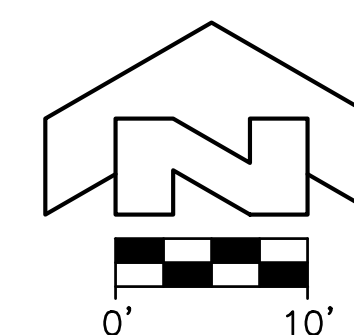


SEE SHEET C203 FOR CONTINUATION

CONSTRUCTION NOTES:

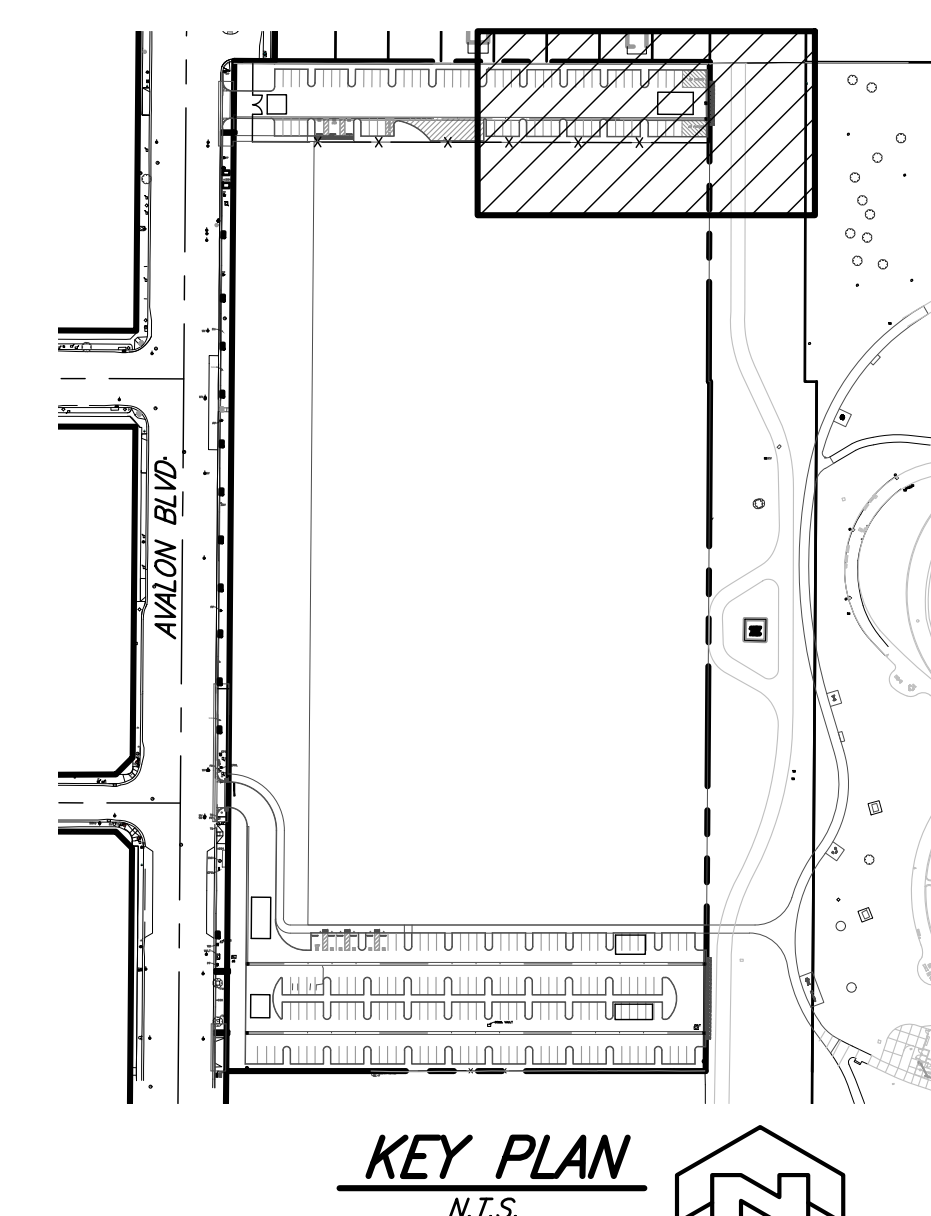
- ① CONSTRUCT AC PAVEMENT & BASE PER DETAIL 3 ON SHEET C401.
- ② CONSTRUCT 0" CURB FACE PER DETAIL 2 ON SHEET C401.
- ③ CONSTRUCT CURB & GUTTER PER DETAIL 5 ON SHEET C401.
- ④ CONSTRUCT PEDESTRIAN PCC PAVEMENT PER DETAIL 1 ON SHEET C401.
- ⑤ DISTRIBUTION BOX. SEE STORM DRAIN PLAN SHEETS C301 & C302.
- ⑥ CONSTRUCT P.C.C. CURB PER DETAIL 4 ON SHEET C401.
- ⑦ CONSTRUCT 0" TO 6" CURB FACE TRANSITION PER DETAIL 10 ON SHEET C401.
- ⑧ PAINT ACCESSIBLE STALL STRIPING PER DETAIL 2 ON SHEET C402.
- ⑨ CONSTRUCT RIBBON GUTTER PER DETAIL 8 ON SHEET C401.
- ⑩ NOT USED.
- ⑪ CONSTRUCT 3' WIDE CURB OPENING.
- ⑫ NOT USED. 
- ⑬ CONSTRUCT CONCRETE WHEEL STOP PER DETAIL 4 ON SHEET C402.
- ⑭ CONSTRUCT LIGHT POLE FOOTING PER DETAIL 11 ON SHEET C401.
SEE ELECTRICAL PLANS FOR LIGHT POLES.
- ⑮ INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 1 ON SHEET C402.
- ⑯ INSTALL TRUNCATED DOME PER DETAIL 5 ON SHEET C402.
- ⑰ NOT USED.
- ⑱ PROTECT EXISTING FENCE IN PLACE.
- ⑲ ADJUST EXISTING TO FINISH GRADE. SEE PLAN FOR TYPE.
- ⑳ INFILTRATION TRENCH. SEE STORM DRAIN PLAN SHEETS C301 & C302.
- ㉑ PROTECT EXISTING WALL IN PLACE.
- ㉒ FITNESS EQUIPMENT. SEE LANDSCAPE PLANS.
- ㉓ CONSTRUCT GRASSY DRAINAGE SWALE PER DETAIL 13 ON SHEET C401.
- ㉔ CONSTRUCT CONCRETE RIP-RAP PER DETAIL 12 ON SHEET C401.
- ㉕ CONSTRUCT PLANTER DRAIN. SEE STORM DRAIN PLAN.
- ㉖ PARKWAY DRAIN. SEE STREET PLANS.
- ㉗ CONSTRUCT CHAIN LINK VEHICULAR ACCESS GATE PER DETAIL 1 ON SHEET C404.
- ㉘ CONSTRUCT 8' HIGH CHAIN LINK FENCING & FOOTING PER DETAILS 2 & 3 ON SHEET C404.
- ㉙ FILTER CATCH BASIN. SEE STORM DRAIN PLAN C301.

UTILITIES SHOWN ON PLANS ARE PROPOSED
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PERMITS MAY BE REQUIRED.



LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M
RDBM TAG IN N CB 1FT W/O BCR @ NW COR
MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 2013
NAV088

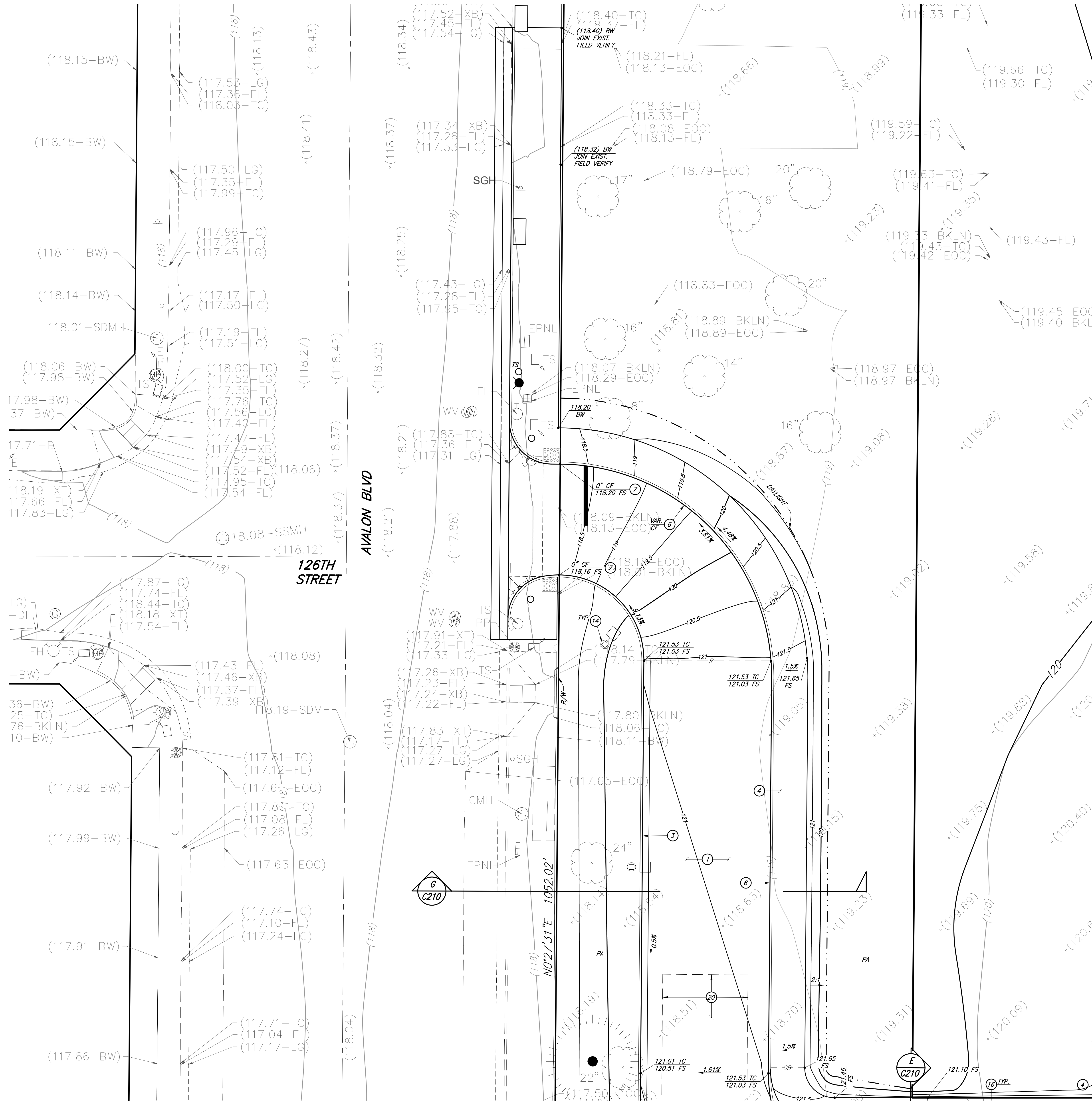
Barbara L. Hall, P.E., Inc.
318 West Evergreen Avenue
Monrovia, CA 91016
Phone: (626) 256-3220
Fax: (626) 256-3218



KEY PLAN
N.T.S.

SEE LANDSCAPE PLANS FOR DISPOSITION OF EXISTING
AND PROPOSED TREES.

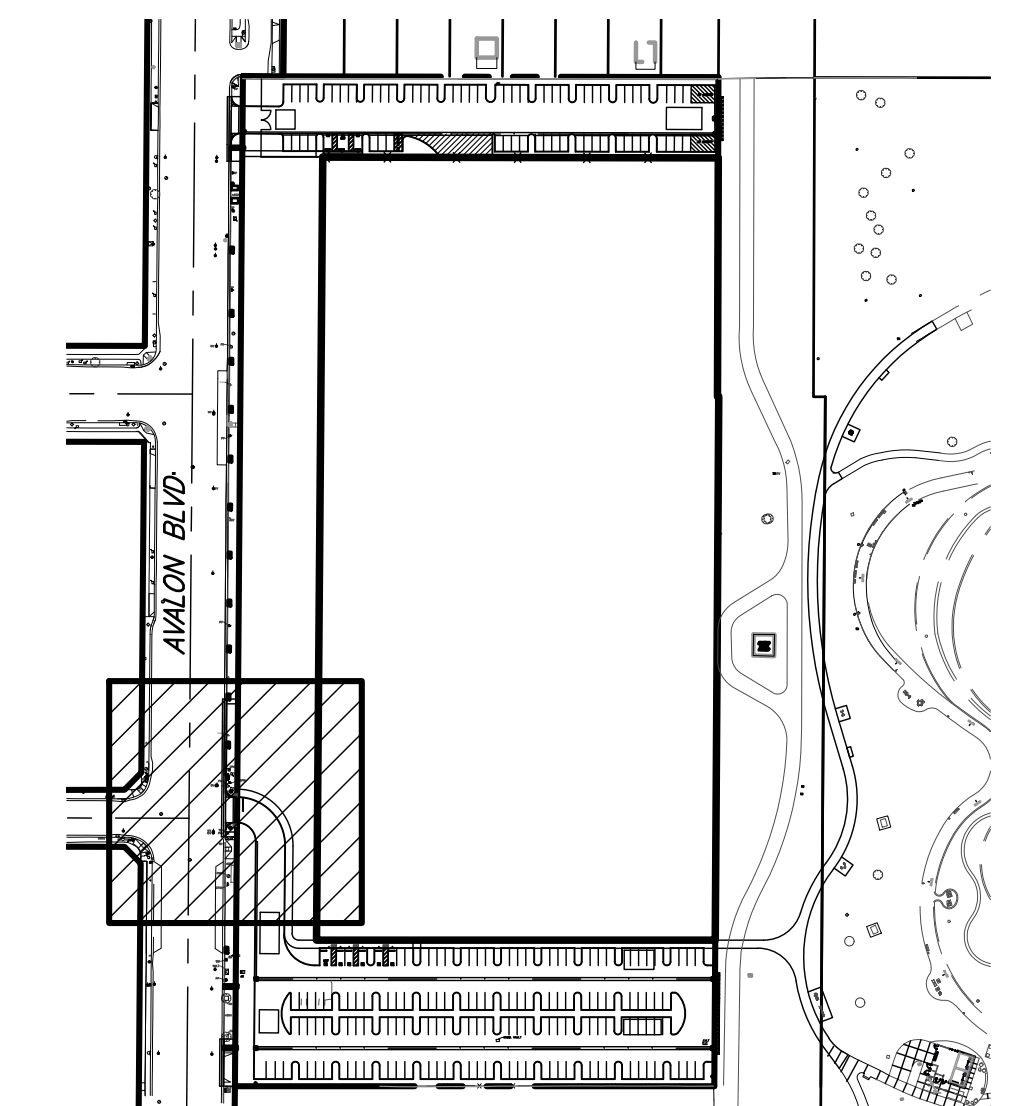
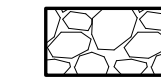
SEE SHEET C204 FOR CONTINUATION



SEE SHEET C206 FOR CONTINUATION

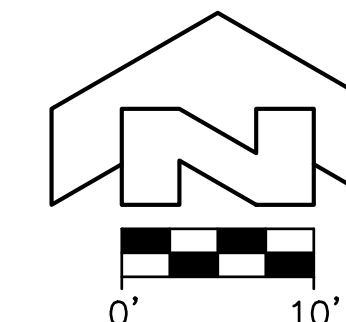
CONSTRUCTION NOTES:

1. CONSTRUCT AC PAVEMENT & BASE PER DETAIL 3 ON SHEET C401.
2. CONSTRUCT 0" CURB FACE PER DETAIL 2 ON SHEET C401.
3. CONSTRUCT CURB & GUTTER PER DETAIL 5 ON SHEET C401.
4. CONSTRUCT PEDESTRIAN PCC PAVEMENT PER DETAIL 1 ON SHEET C401.
5. DISTRIBUTION BOX. SEE STORM DRAIN PLAN SHEETS C301 & C302.
6. CONSTRUCT P.C.C. CURB PER DETAIL 4 ON SHEET C401.
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25. CONSTRUCT PLANTER DRAIN. SEE STORM DRAIN PLAN.
26. PARKWAY DRAIN. SEE STREET PLANS.
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28. CONSTRUCT 8" HIGH CHAIN LINK FENCING & FOOTING PER DETAILS 2 & 3 ON SHEET C404.
29. FILTER CATCH BASIN. SEE STORM DRAIN PLAN C301.



KEY PLAN
N.T.S.

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SEE LANDSCAPE PLANS FOR DISPOSITION OF EXISTING AND PROPOSED TREES.



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310.558.0995

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07/22/2025 BID RFI
NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PAV PROJECT NO.

21023.01

DRAWING TITLE

GRADING PLAN

SCALE

AS SHOWN

DATE

06/01/2025

DESIGNED

VC BLH

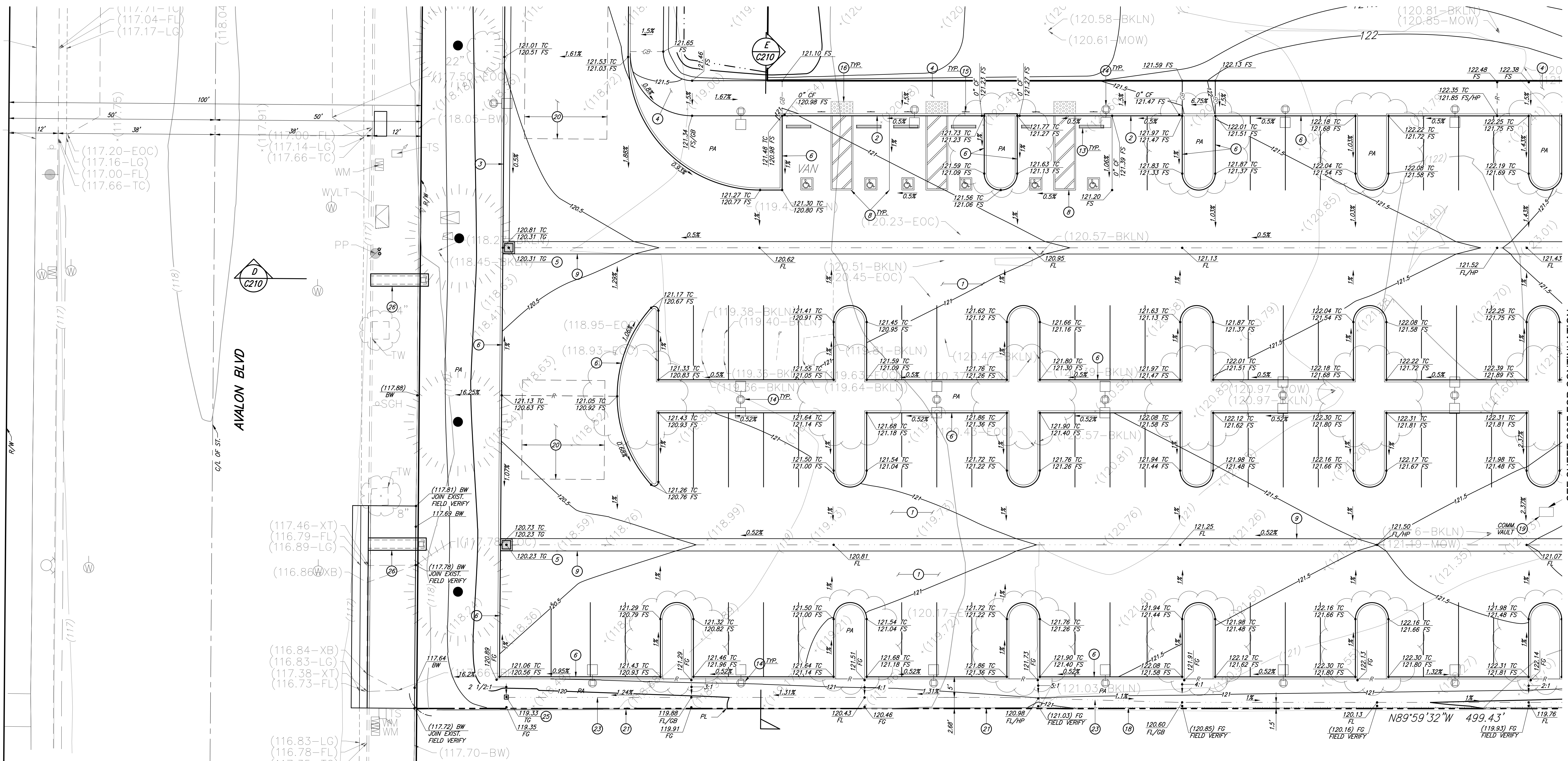
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VC BLH

SHEET NO.

C205

SEE SHEET C204 FOR CONTINUATION

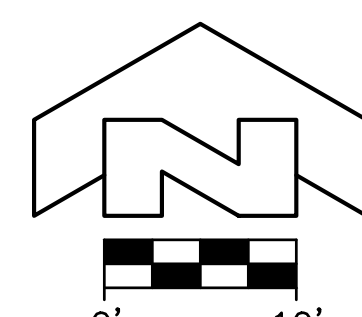
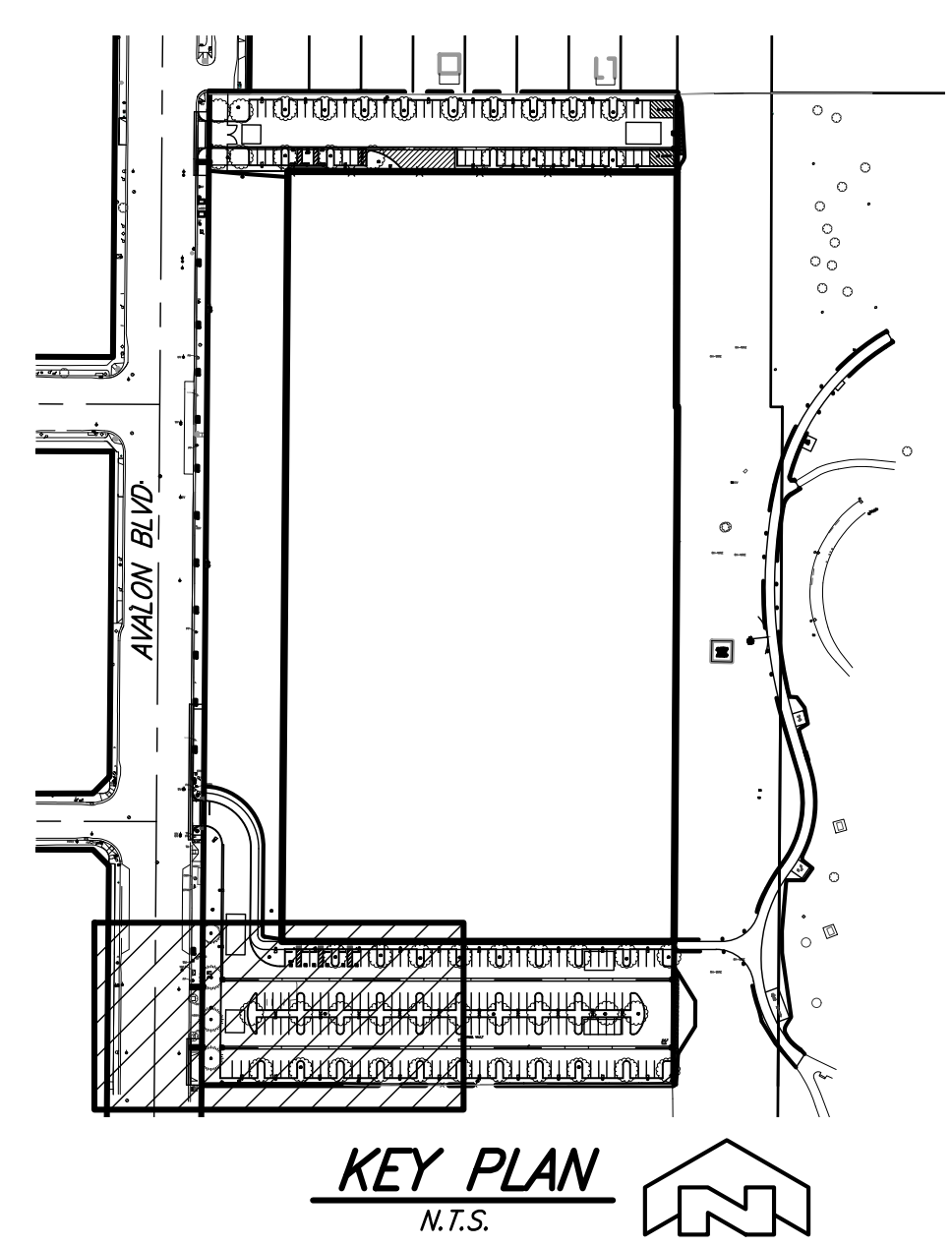


CONSTRUCTION NOTES:

1. CONSTRUCT AC PAVEMENT & BASE PER DETAIL 3 ON SHEET C401.
2. CONSTRUCT 0" CURB FACE PER DETAIL 2 ON SHEET C401.
3. CONSTRUCT CURB & GUTTER PER DETAIL 5 ON SHEET C401.
4. CONSTRUCT PEDESTRIAN PCC PAVEMENT PER DETAIL 1 ON SHEET C401.
5. DISTRIBUTION BOX. SEE STORM DRAIN PLAN SHEETS C301 & C302.
6. CONSTRUCT P.C.C. CURB PER DETAIL 4 ON SHEET C401.
7. CONSTRUCT 0" TO 6" CURB FACE TRANSITION PER DETAIL 10 ON SHEET C401.
8. PAINT ACCESSIBLE STALL STRIPING PER DETAIL 2 ON SHEET C402.
9. CONSTRUCT RIBBON GUTTER PER DETAIL 8 ON SHEET C401.
10. NOT USED.
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13. CONSTRUCT CONCRETE WHEEL STOP PER DETAIL 4 ON SHEET C402.
14. CONSTRUCT LIGHT POLE FOOTING PER DETAIL 11 ON SHEET C401. SEE ELECTRICAL PLANS FOR LIGHT POLES.
15. INSTALL ACCESSIBLE PARKING SIGN PER DETAIL 1 ON SHEET C402.
16. INSTALL TRUNCATED DOMES PER DETAIL 5 ON SHEET C402.
17. NOT USED.
18. PROTECT EXISTING FENCE IN PLACE.
19. ADJUST EXISTING TO FINISH GRADE. SEE PLAN FOR TYPE.
20. INFILTRATION TRENCH. SEE STORM DRAIN PLAN SHEETS C301 & C302.
21. PROTECT EXISTING WALL IN PLACE.
22. FITNESS EQUIPMENT. SEE LANDSCAPE PLANS.
23. CONSTRUCT GRASSY DRAINAGE SWALE PER DETAIL 13 ON SHEET C401.
24. CONSTRUCT CONCRETE RIP-RAP PER DETAIL 12 ON SHEET C401.
25. CONSTRUCT PLANTER DRAIN. SEE STORM DRAIN PLAN.
26. PARKWAY DRAIN. SEE STREET PLANS.
27. CONSTRUCT CHAIN LINK VEHICULAR ACCESS GATE PER DETAIL 1 ON SHEET C404.
28. CONSTRUCT 8" HIGH CHAIN LINK FENCING & FOOTING PER DETAILS 2 & 3 ON SHEET C404.
29. FILTER CATCH BASIN. SEE STORM DRAIN PLAN C301.

UTILITIES SHOWN ON PLANS ARE PROPOSED FOR REFERENCE ONLY AND SEPARATE PERMITS MAY BE REQUIRED.

SEE LANDSCAPE PLANS FOR DISPOSITION OF EXISTING AND PROPOSED TREES.



LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M
RODM TAG IN N CB 1FT W/O BOR @ NW COR
MAIN ST & EL SEGUNDO BLVD.
WATTS QUAD 2013
NAV088

Barbara L. Hall, P.E., Inc.
318 West Evergreen Avenue
Monrovia, CA 91016
Phone: (626) 256-3220
Fax: (626) 256-3218

PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
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310 558-0995

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NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PROJECT NO.
21023.01

DRAWING TITLE
GRADING PLAN
SOUTH LOT

SCALE
AS SHOWN

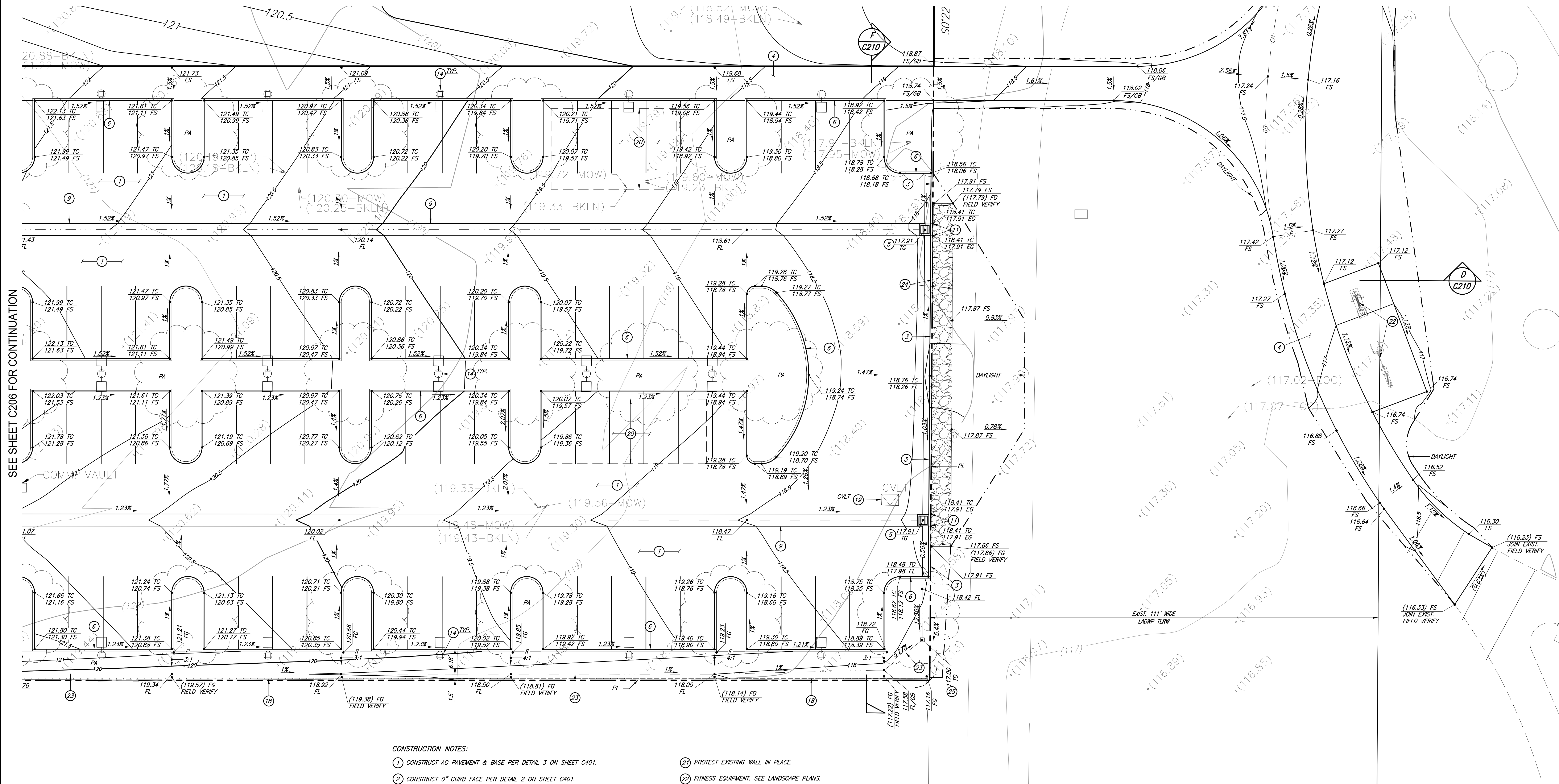
DATE
06/01/2026

BY
VC BLH

SHEET NO.
C206

SEE SHEET C205 FOR CONTINUATION

SEE SHEET C209 FOR CONTINUATION

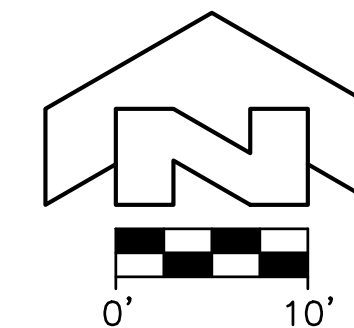


CONSTRUCTION NOTES:

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- 20) INFILTRATION TRENCH. SEE STORM DRAIN PLAN SHEETS C301 & C302.
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- 27) CONSTRUCT CHAIN LINK VEHICULAR ACCESS GATE PER DETAIL 1 ON SHEET C404.
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LACO BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M

ROOM TAG IN N CB 1FT W/O BOR @ NW COR
MAIN ST & EL SEGUNDO BLVD.

WATTS QUAD 2013
NAV088

KEY PLAN

N.T.S.

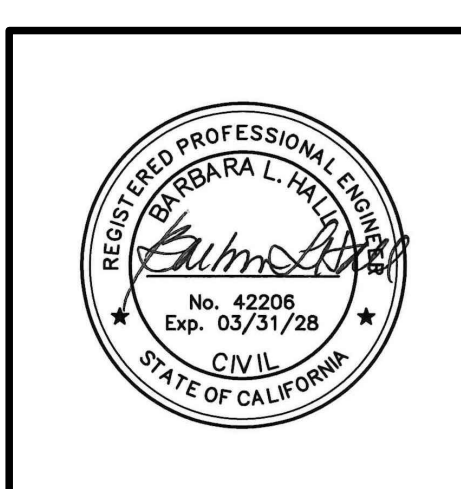


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Phone: (626) 256-3220
Fax: (626) 256-3218

PAUL MURDOCH
ARCHITECTS6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 558-0995

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NO. DATE REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT12416 AVALON BLVD.
LOS ANGELES, CA 90061

PWA PROJECT NO.

21023.01

DRAWING TITLE

GRADING PLAN

SCALE

AS SHOWN

DATE

06/01/2026

DRAWN

VC

BLH

SHEET NO.

C207

MATCHLINE SEE BELOW RIGHT

CONSTRUCTION NOTES:

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- (29) FILTER CATCH BASIN. SEE STORM DRAIN PLAN C301.



PAUL MURDOCH
ARCHITECTS

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310 358-0993

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NO	DATE	REV
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MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PMA PROJECT NO.
21023.01

DRAWING TITLE

GRADING PLAN

SCALE
AS SHOWN

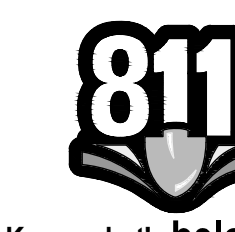
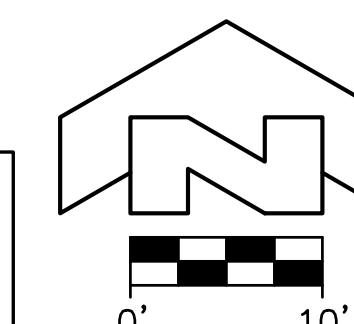
06/01/2026

DRAWN	CHECKED
VC	BL
DATE	

C208

UTILITIES SHOWN ON PLANS ARE PROPOSED
FOR REFERENCE ONLY AND SEPARATE
PERMITS MAY BE REQUIRED.

SEE LANDSCAPE PLANS FOR DISPOSITION OF EXISTING
AND PROPOSED TREES.



Know what's below.
Call before you dig.

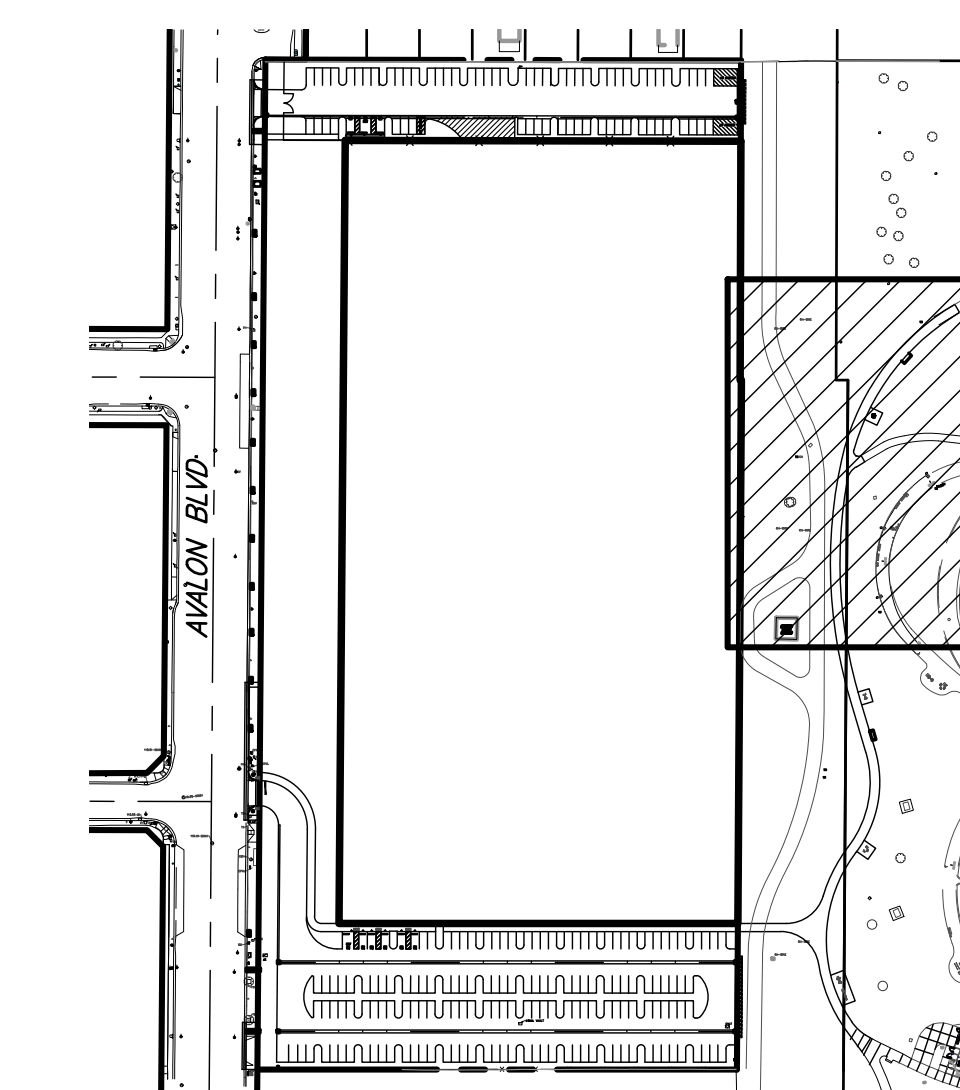
LACo BENCHMARK NO. RY187A EL. 136.911
41.731 M

RDBM TAG IN N CB 1FT W/O BCR @ NW COR
MAIN ST & EL SEGUNDO BLVD.

WATTS QUAD 2013
NAV088

Barbara L. Hall, P.E., Inc.

318 West Evergreen Avenue
Monrovia, CA 91016
Phone: (626) 256-3220
Fax: (626) 256-3218

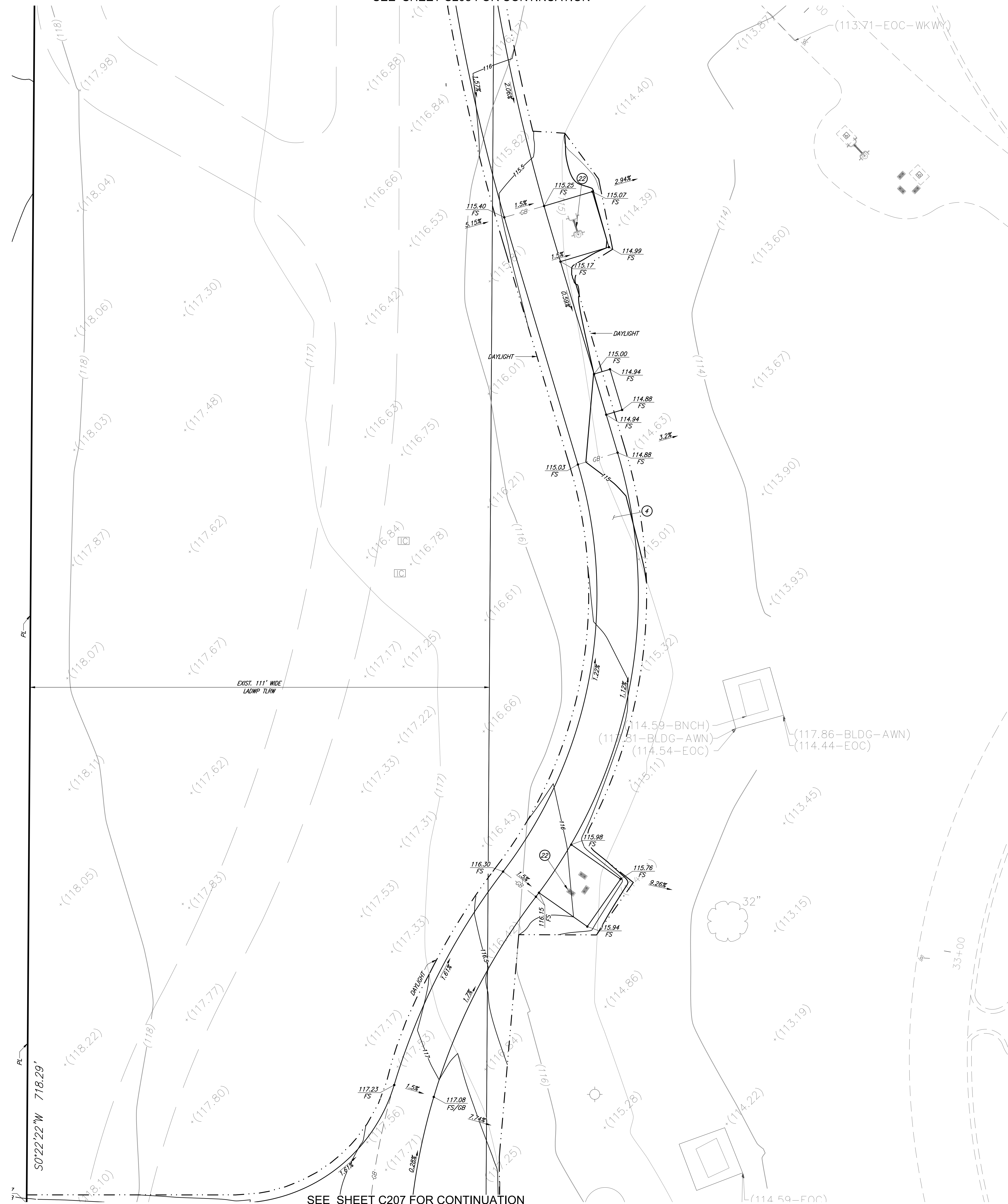


KEY PLAN
NTS



SEE SHEET C209 FOR CONTINUATION

ET C207 FOR CONTINUATION



Know what's below.
Call before you dig.

LACo BENCHMARK NO. RY187A EL. 136.911 FT
41.731 M

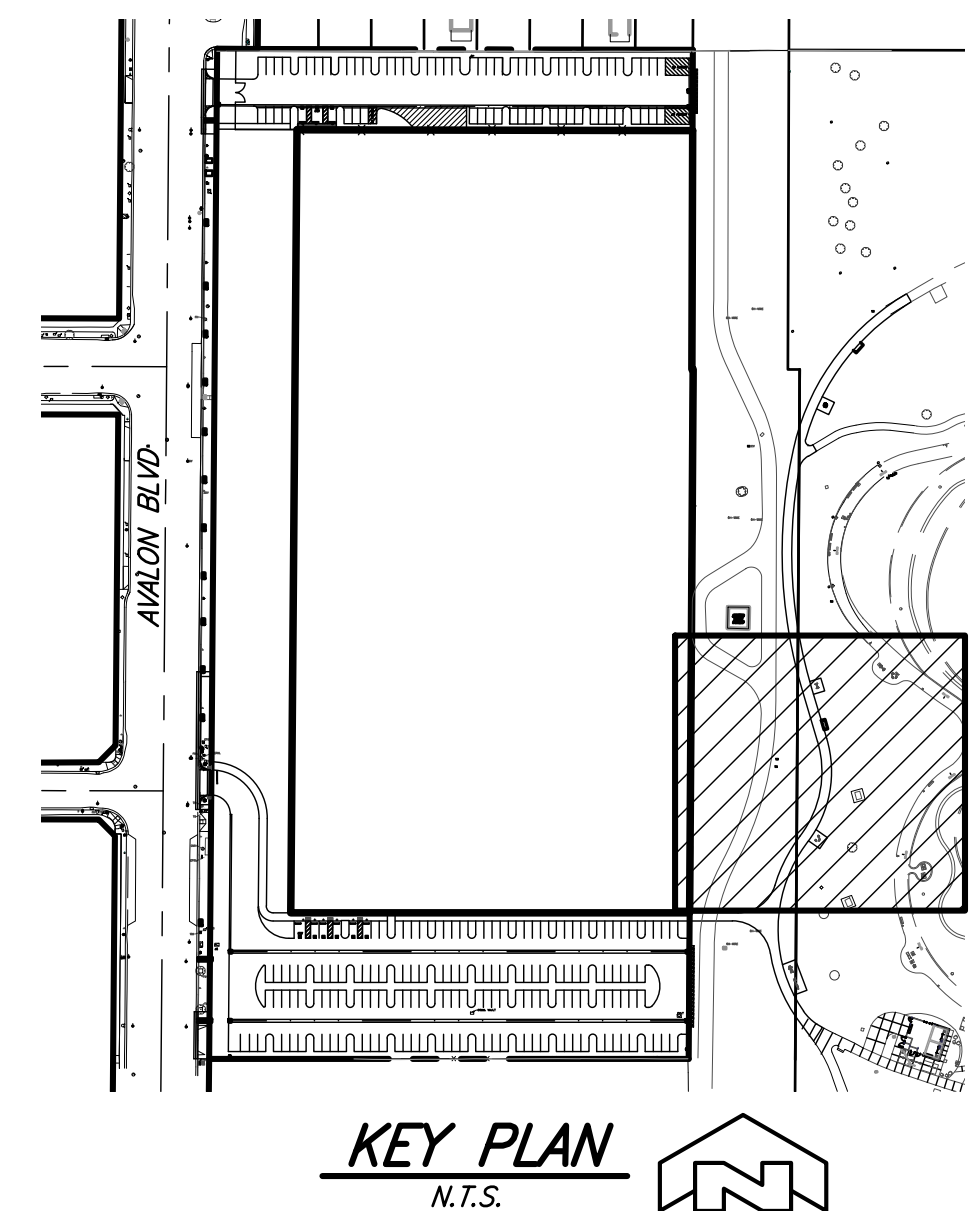
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WATTS QUAD 2013
NAVD88

Barbara L. Hall, P.E., Inc.
318 West Evergreen Avenue
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CONSTRUCTION NOTES:

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- (29) FILTER CATCH BASIN. SEE STORM DRAIN PLAN C301.

PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 40
LOS ANGELES, CALIFORNIA 9004
310 358-0993

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	07/22/2008	BID RFI
NO.	DATE	REVISION

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PMA PROJECT NO.
21023.01

GRADING PLAN

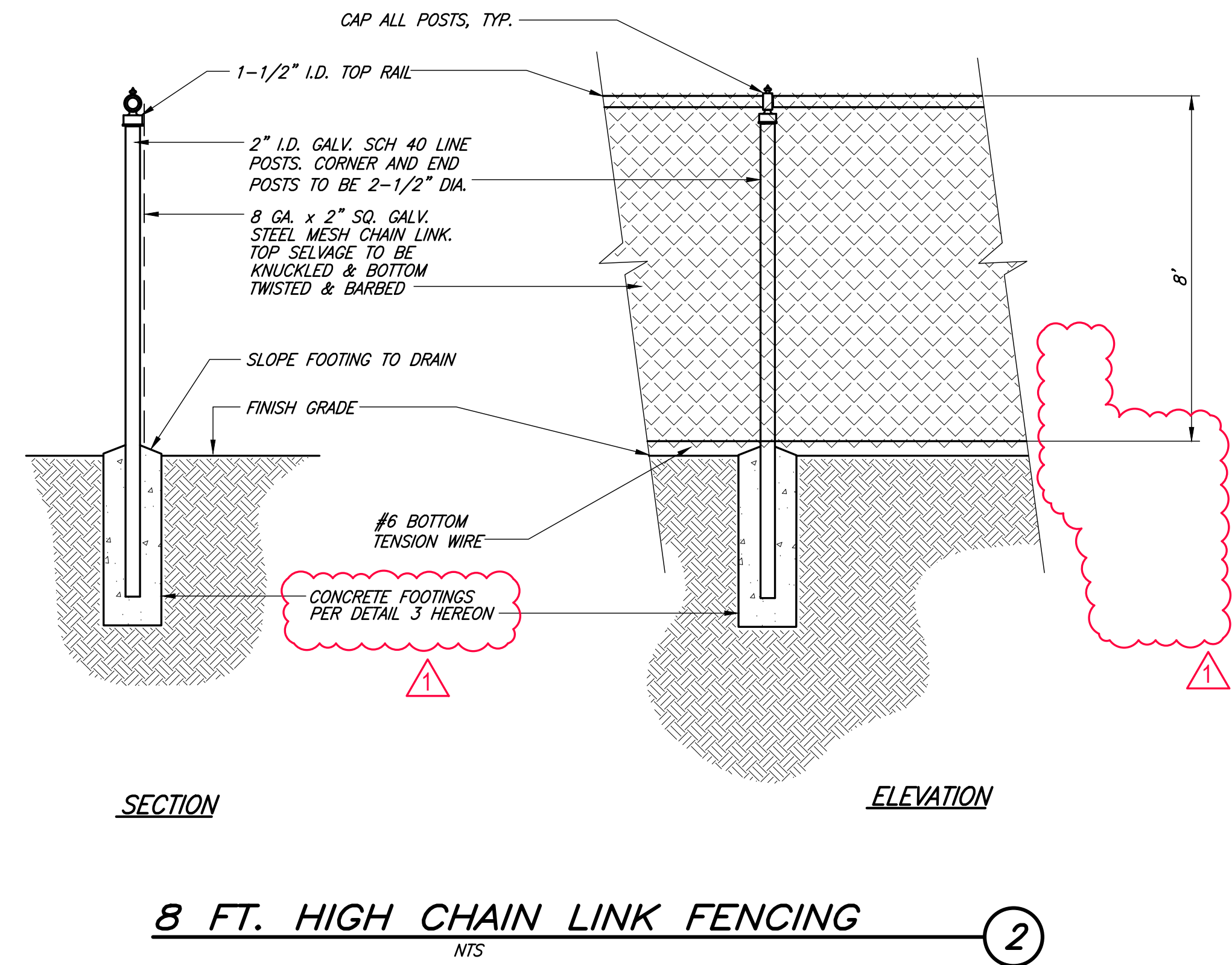
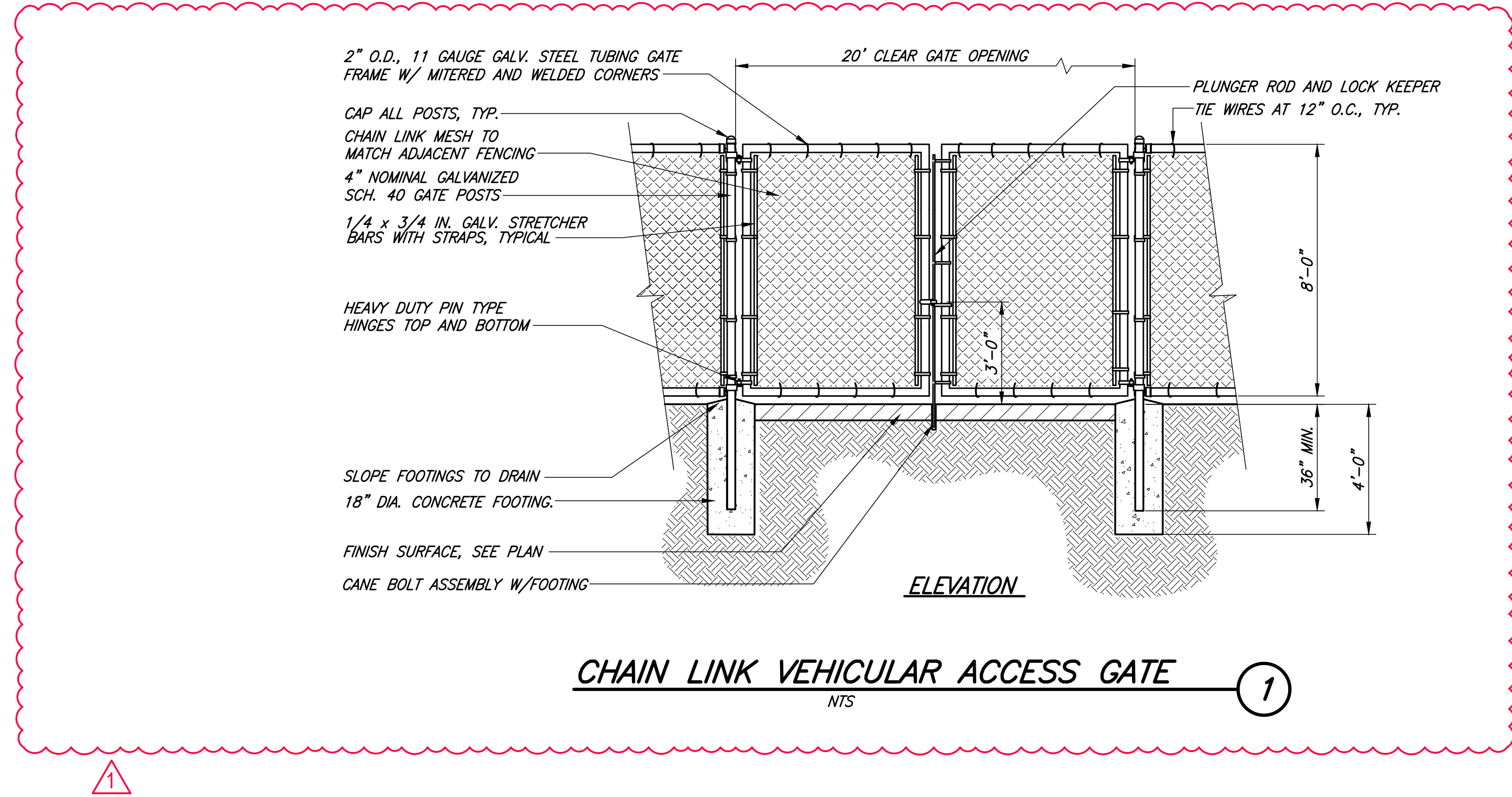
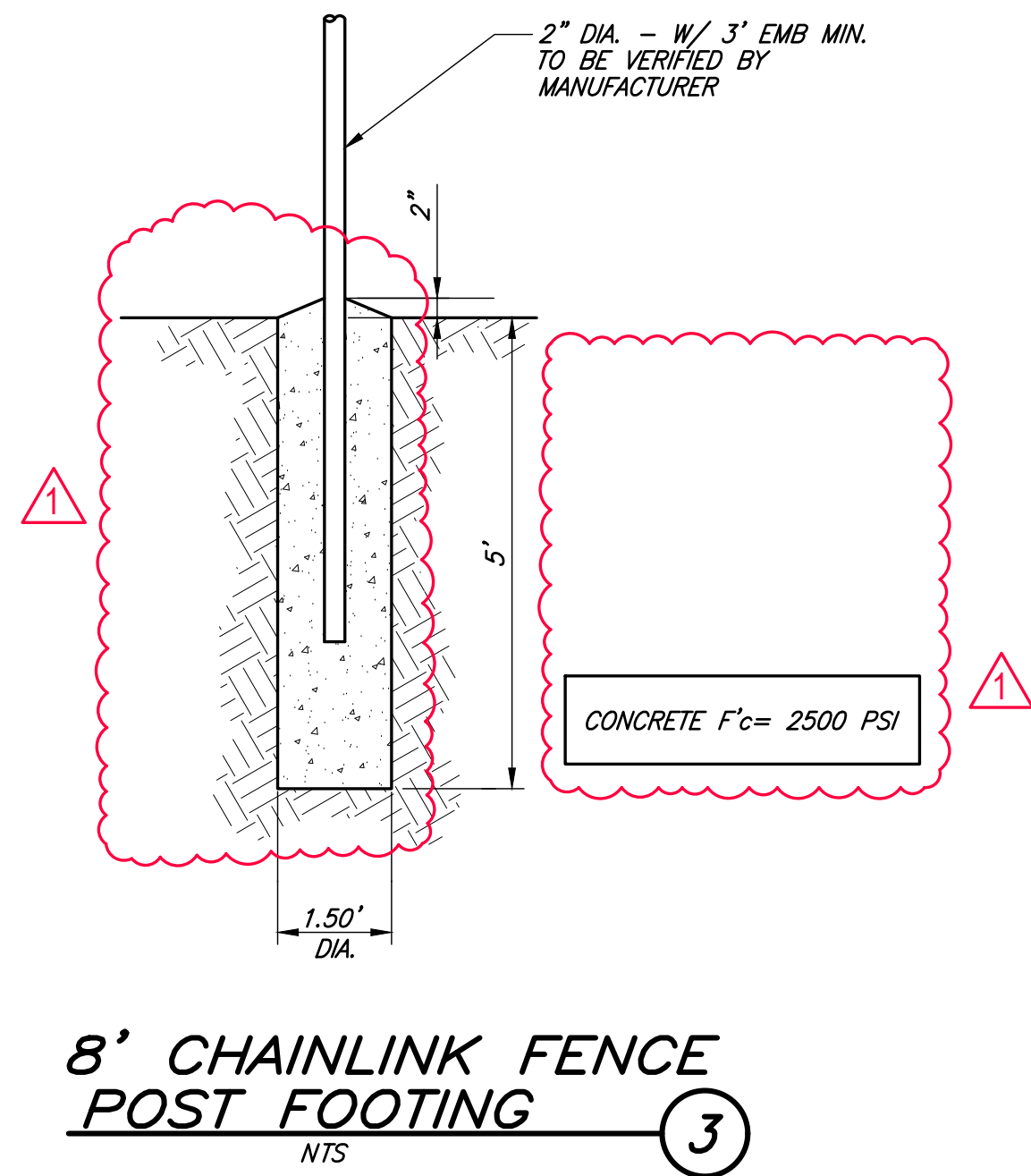
SCALE

AS SHOWN

DATE	06/01/2026
DRAWN	CHECKED

VC BLH
SHEET NO.

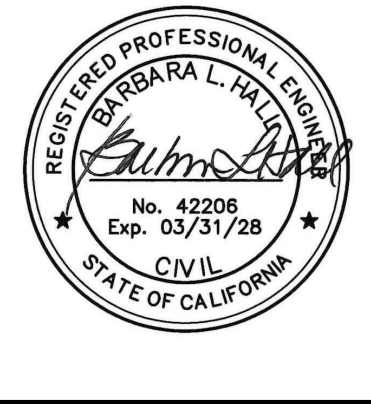
C209



PAUL MURDOCH
ARCHITECTS

6310 SAN VICENTE BLVD SUITE 400
LOS ANGELES, CALIFORNIA 90048
310 558-0995

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NO.	DATE	REVISION
01/22/2026		BID RFI

MAGIC JOHNSON PARK
MAKE READY &
PARKING PROJECT

12416 AVALON BLVD.
LOS ANGELES, CA 90061

PAV PROJECT NO.
21023.01

DRAWING TITLE
DETAILS

SCALE
AS SHOWN

DATE
06/01/2026

DESIGN
VC

CHECKED
BLH

SHEET NO.
C404

Barbara L. Hall, P.E., Inc.
318 West Evergreen Avenue
Monrovia, CA 91016
Phone: (626) 256-3220
Fax: (626) 256-3218

Question Number	Question	Answer
1	For the Site Demolition, please confirm the Existing Asphalt and Concrete Sidewalk Depths.	The information is not available. For the purpose of pricing, assume 4" of asphalt over 6" of base.
2	How many additional days will be granted for bid alternate work?	No additional days for the work specified in Bid Alternate 1.
3	Per sheet L3.00, there shall be bid alternate gravel mulch. Please clarify which bid item shall pay for this item.	Please provide alternative pricing for gravel in lieu of mulch in the area between the two parking lots.
4	Please confirm that as stated in Section 01 500 00, Section 1.02 that contractor is required to provide a field office for the owners use and if so, please elaborate on the requirement such as interior or exterior restroom, internet access, printers, kitchenette, conference area size, seating requirements, and if the supplied office must be separate and or can be shared with contractor's personnel.	Confirmed. Please refer to Project Manual, Section 01 50 00 Temporary Facilities; Paragraph. 1.02, Office. No additional services are to be provided unless specifically requested in the Project Manual.
5	Who will be responsible for material testing such as concrete, asphalt, and, and Soils inspections?	County will provide deputy inspection services for these tasks.
6	Please confirm that temporary toilets must be serviced three times a week as this is out of industry standards.	Toilets will be services as per Project Manual. Refer to Section 01 50 00 Temporary Facilities; Paragraph. 1.04 Toilets.
7	Cost Impact CWA form is required at bid time but there is no way to know what these costs as they fluctuate across the project. What price are we to provide if these costs are unknown at bid time?	The Form is to provide informative data for the County to track the CWA cost impacts on the project. We ask the contractors to do their research and consider costs, like sub mark ups, workforce prevailing wage increase cost and/or increase employer benefit payments, plus additional administrative costs, etc.
8	Please provide as-built historic plans for the existing park for bidding purposes.	Available as-builts have already been published. Refer to Notice to Bidders B.
9	Who will maintain the park while construction is in process?	During construction the site will be handed over the contractor, who will be responsible to maintain the site, as per standard practices
10	There are several individual work areas such as the parcourse areas and site furnishing installations. Do these need to be individually fenced?	Securing the site is the contractor's responsibility. Means and methods to achieve site security is too.

11	Are we to deduct the base mulch cost from the additive alternate gravel placement or does the county want to make the mulch and gravel an individual line item for bidding purposes?	The gravel is an alternative price to the much. Base bid to be with mulch and alternative bid to be with gravel instead of mulch.
12	Please provide historic plans for the two buildings to be removed for bidding purposes.	This information is not available.
13	Please provide historic plans for the CMU wall to be removed including footing dimensions and well as reinforcement for bidding purposes.	This information is not available.
14	What is the thickness of the existing asphalt and depth of the base to be removed for bidding purposes? Please in the meantime provide a core sample for bidding purposes.	Assume 4" of asphalt topping and 6" of sub-base, bidders are required to submit unit price of 6" asphalt topping and 8" of sub-base.
15	We assume that the park will remain in operation during construction. Please provide specific limits of work for bidding purposes so we can ascertain the amount of pedestrian controls required.	The scope of work is clearly defined in all drawings. One requirement from the client is that the fitness path will have to remain operational throughout the work, so a temporary path must be created while the permanent path within the project site is being relocated eastward.
16	Please provide historic and or as-built drawings for the lake fill line system for bidding purposes.	This information is not available.
17	Please elaborate on note Sheet C104 "Contractor to maintain continuity of exiting trail"; Are we to provide a temporary trail due to the removal of existing concrete, installation of fitness equipment, and subsequent landscape improvements? If so, please provide a markup of the temporary trail location, material required, and installation detail for its installation.	Temporary trail location can be proposed by the contractor and approved by Public Work.
18	Will CMS boards be required along Avalon Boulevard to warn vehicular traffic of the closed parking lot? If so, how many and for how long will they be required?	CMS or other traffic control devices are part of contractors' means & methods and must comply with the applicable regulatory requirements.
19	What are the traffic control requirements for the two new parking lot entrances? Will arrow boards, CMS boards, and traffic control plans be required for county review and or can we use WATCH manual implementation for his scope of work?	CMS or other traffic control devices are part of contractors' means & methods and must comply with the applicable regulatory requirements.
20	Keynote 8 Sheet C105 to 107 refers to relocation of existing exercise equipment per "landscape plans" although no scope and/or callouts can be found in the referenced plans. Please provide direction,	Landscape Construction Plans Sheets L1.11 and 1.12 indicate the new location and scope of work for the exercise equipment. The exercise/parcourse equipment are new

	historical drawings, installation details, and markup plans as to this scope.	equipment and not relocated per landscape plans. Details can be found on L1.51. No historical drawings are available.
21	If utilities are to be provided by the owner, where are we to gain access to construction water and electricity for our trailer? Please provide a markup plan on where these services can be connected.	For electrical, refer to as-builts MJP Phase 1A_V2_6 Electrical, and for water, refer as-builts PDF labeled <i>Pages from MJP Phase 1A_V1_5 Water Treatment Plant</i> , both attached in Notice B. Contractor to obtain peak load demand readings of existing panel prior to connecting temporary service to ensure there is enough spare load capacity for the demand needed.
22	Sheets L2.13 and L3.13 irrigation and tree plantings are well outside the general work limits. Will these work areas require fencing based on public access protection due to open trenching and plant pits? We assume yes as it seems the remainder of the park will be operational. Please confirm the need for fencing in these areas.	Fencing to be provided in all areas where new irrigation and new tree plantings are shown on drawings.
23	Specifications mention pruning trees. To what extent and within what areas are we to prune tree as at bid time there is no way to ascertain the amount of work required until work begins and over the duration of a seven-month project eh scope can change. Please provide further directions to this scope of work.	Per Specification Section 32 01 30, although pruning of the nursery grown trees is not anticipated in the first year, provide an allowance to prune 10% of the nursery grown trees should the Architect or Owner request pruning.
24	Are there any franchise agreements for trash hauling that we should be aware of?	County is not aware of any franchise agreements at this site.
25	If trees are to be supplied by owner how many trees will we receive at a time and at what frequency will they be received?	Frequency of Owner supplied trees cannot be determined at this time. For bidding purposes, Contractor to assume seven (7) deliveries – one (1) for each tree species
26	Please provide information on the: Existing concrete pavement and base depth, Existing AC Pavement and base depth, Existing Curb width and depth, Existing Mow Strip width and depth, Existing decomposed granite and base depth, Existing Building Foundation and base depth.	Assume a 4" deep asphalt topping and a 6" sub-base.
27	In the newly issued addendum, twelve (12) new trees were added to the project scope. Please clarify whether the Contractor is responsible for furnishing and purchasing these additional trees, or if they will be Owner/City-furnished. Since this scope was introduced after the question/RFI deadline, please confirm the	The twelve (12) additional trees will be purchased by Department of Parks and Recreation then delivered from the nursery to the site once the contractor is ready for them to be planted, so the nursery will store and maintain them until needed but planting (and irrigation) remains in the project budget.

	intended procurement responsibility so we can accurately account for the added scope in our bid.	
28	We are preparing our bid submission for the Magic Johnson Park project. BidExpress lists “Attestation of Contractor’s Qualifications” as a required upload; however, we are unable to locate a form with that title in the bid documents.	Remove reference to Form 00 04 00, Attestation of Contractors Qualifications from the required forms due at the time of bid. This form is not a requirement for this project.
29	Is a hydroseed slurry mix available for the Turf “Pro Sports Field”?	Application and compatibility shall be per the slurry mix\binder manufacturer recommendations.
30	We are unable to locate the revised C102 in the Notice to Bidders documents or attachments. Could you please provide the revised Sheet C102 referenced in these responses or advise where it can be accessed?	Refer to the attached revised civil set, Attachment 2 of this Notice.