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Los Angeles County Public Works
Geotechnical and Materials Engineering Division
GEOLOGIC AND GEOTECHNICAL ENGINEERING REVIEW SHEET
900 S. Fremont Avenue, Alhambra, CA 91803

Tract / Parcel Map _____	Lot(s) _____	Parent Tract _____
Site Address <u>5300 W Avenue I</u>	Location <u>Lancaster</u>	APN <u>3203014901</u>
Geologist _____	Developer/Owner <u>County of Los Angeles – High Desert Hospital</u>	
Soils Engineer <u>Geocon West, Inc.</u>	Engineer/Arch. <u>SWA Architects</u>	

Review of:

Grading P.C. No.: GRAD211213000554 For: Demolish the (1) main high desert hospital building, (18) surrounding auxiliary buildings, and (2) trailers and haul away existing (31) containers. (15815 c.y.)

Submittal Received by GMED: 10/23/23

Geologic Report(s) Dated: _____
Soils Engineering Report(s) Dated: 10/17/23, 10/29/21
Geotechnical Report(s) Dated: _____
References: _____

Action: Plan is recommended for approval from a geotechnical standpoint, subject to the following conditions.

1. The geotechnical consultant(s) must review the plans and sign and stamp, as appropriate, the plans in verification of their recommendations. Digital plans shall include an electronically generated representation of the licensee's seal, signature, and date of signing on each sheet appropriate to the foundation system, recommendations, and notes.
2. All recommendations of the geotechnical consultant(s) must be followed.
3. Rough grading must be approved by a final geotechnical report. An As-Built Geotechnical Map must be included in the final report. The final report(s) must be submitted to the Geotechnical and Materials Engineering Division for review and approval.
4. In accordance with Section J105.12 of the County of Los Angeles Building Code, final reports on rough grading shall contain a finding regarding the safety of the completed grading and any proposed structures against hazard from future landslides, settlement, or slippage and a finding regarding the effect that the completed grading will have on the geologic stability of property outside of the building site. The geotechnical consultant(s) shall also include a certification that indicates to the best their knowledge, the work within their area of responsibility is in accordance with their report(s) and applicable provisions of the County of Los Angeles Building Code.

NOTE(S) TO THE PLAN CHECKER/BUILDING AND SAFETY DISTRICT ENGINEER:

- A. ONLY THE SOILS/FOUNDATION RECOMMENDATIONS DEPICTED ON THE PLANS ARE RECOMMENDED FOR APPROVAL.
- B. ON-SITE SOILS ARE CORROSIVE TO FERROUS METALS.


PER THE SOILS ENGINEER:

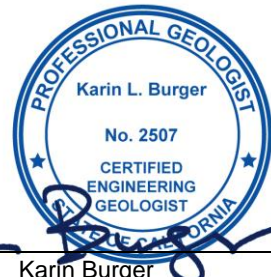
- C. AS A MINIMUM, THE UPPER 3 FEET OF EXISTING SITE SOILS ACROSS THE SITE SHOULD BE EXCAVATED AND PROPERLY COMPACTED FOR SUPPORT OF FUTURE IMPROVEMENTS. DEEPER EXCAVATIONS SHOULD BE CONDUCTED AS NECESSARY TO COMPLETELY REMOVE ALL EXISTING FILL AND UNSUITABLE SOILS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER (GEOCON WEST, INC.).
- D. THE SEDIMENT BASIN, SHOWN ON SHEET C4.00, IS INTENDED TO SERVE AS EROSION CONTROL UNTIL A PROPOSED DEVELOPMENT IS PRESENTED; ONCE THE SCOPE OF A PROPOSED DEVELOPMENT IS DETERMINED A FINAL LID SYSTEM WILL BE DESIGNED AND IMPLEMENTED. PERCOLATION TEST RESULTS INDICATE THAT THE INFILTRATION RATE IS LESS THAN THE ACCEPTED MINIMUM INFILTRATION RATE OF 0.3 INCHES PER HOUR AND ONSITE INFILTRATION IS NOT RECOMMENDED. INSTEAD, A TREAT AND RELEASE SYSTEM IS RECOMMENDED.

Prepared by


Karen Mendez
Geotechnical Section




Karin Burger
Engineering Geology Section



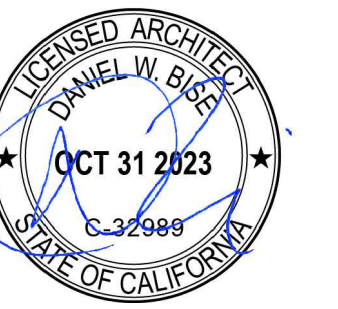
Date 11/16/2023

Please complete a Customer Service Survey at <http://dpw.lacounty.gov/go/gmedsurvey>

NOTICE: Public safety, relative to geotechnical subsurface exploration, shall be provided in accordance with current codes for excavations, inclusive of the Los Angeles County Code, Chapter 11.48, and the State of California, Title 8, Construction Safety Orders.

COUNTY OF LOS ANGELES HIGH DESERT SITE CLEARANCE

44900 NORTH 60TH ST, WEST
LANCASTER, CA 93536



48 east holly street
Pasadena, ca 91103
tel: 626.793.9805 · fax: 626.793.9807



COUNTY OF
LOS ANGELES

HIGH DESERT
HOSPITAL
SITE CLEARANCE

BUILDING SUBMITTAL

44900 NORTH 60TH ST, WEST
LANCASTER, CA 93536

AGENCY STAMP

AGENCY NUMBER BLDG211213002107
ISSUE/REVISION
PLAN CHECK 12-03-2021
BACK CHECK (BLDG ONLY) 1/10/2022
BACK CHECK 2 8/7/2022

PROJECT DATA
DATE
ARCHITECT DB
CHECKED BY DB
DRAWN BY BW
PROJECT NO. 20210017
SHEET TITLE
GENERAL NOTES, SHEET
INDEX, VICINITY MAP, LEGEND

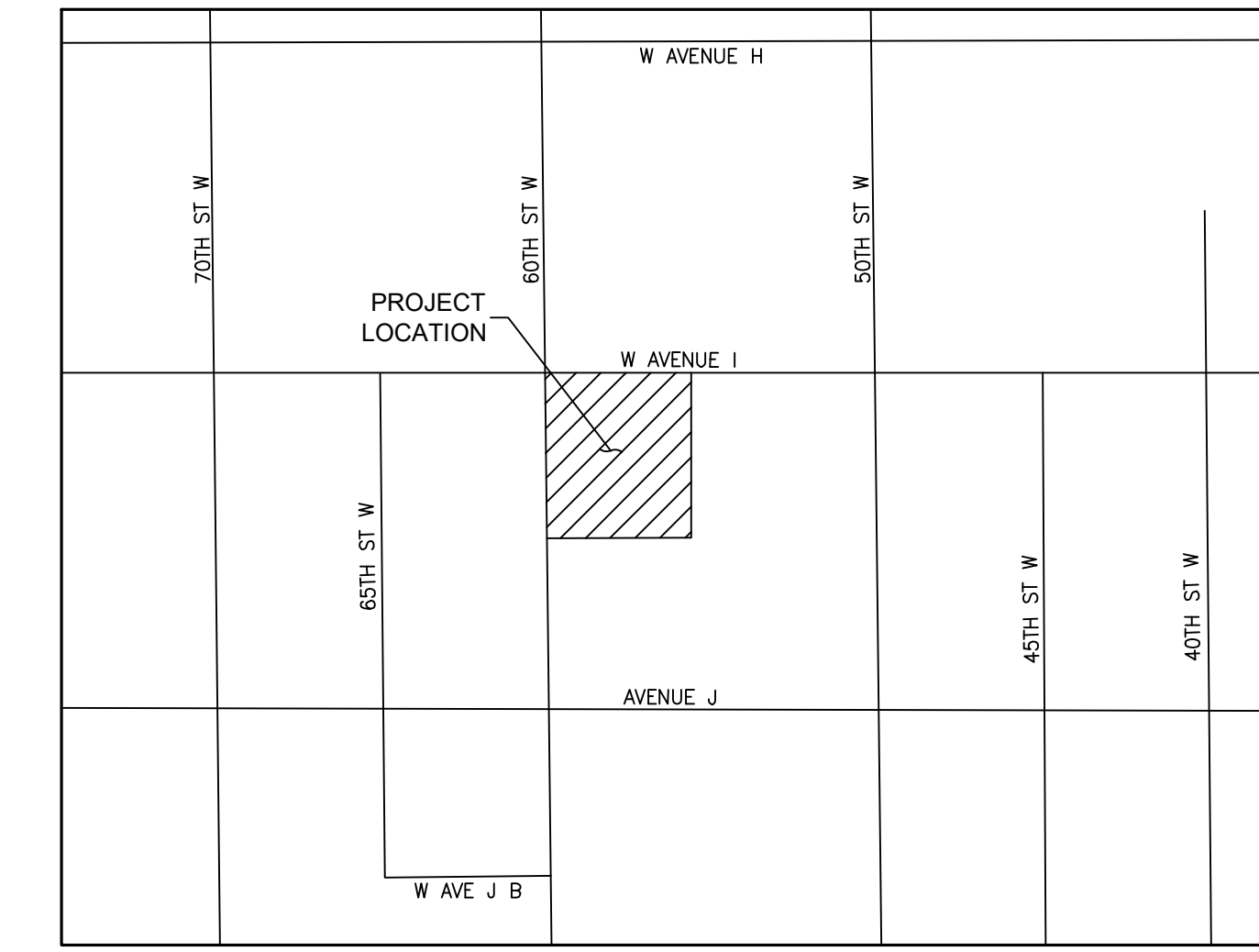
SHEET NO.

T-1.00

GENERAL NOTES		ABBREVIATIONS		SYMBOLS LEGEND		PROJECT NARRATIVE		SHEET INDEX																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
<p>GENERAL NOTES:</p> <p>1. THE CONTRACTOR SHALL VISIT THE SITE INCLUDING ALL AREAS INDICATED ON THE DRAWINGS TO THOROUGHLY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION. PRIOR TO INSPECTION OF THE EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION. CONTACT THE ARCHITECT TO CLARIFY ALL UNCLEAR DRAWING ITEMS PRIOR TO BIDDING. BY SUBMITTING A BID, THE CONTRACTOR ACCEPTS THE CONDITIONS UNDER WHICH HE SHALL BE REQUIRED TO PERFORM THE WORK.</p> <p>2. CIVIL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF CIVIL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND THE OTHER DRAWINGS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER.</p> <p>3. DO NOT SCALE DRAWINGS. LARGER SCALE DRAWINGS GOVERN OVER SMALLER SCALE DRAWINGS.</p> <p>4. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. ARCHITECT SHALL DEFINE INTENT OF ANY IN QUESTION.</p> <p>5. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS OTHERWISE NOTED.</p> <p>CONSTRUCTION NOTES:</p> <p>1. CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROPERLY SEPARATED BY THE CONTRACTOR.</p> <p>2. ALL DUST, NOISE AND ODORS SHALL BE CONTROLLED PER OWNER'S REQUIREMENTS AND THOSE OF THE COUNTY OF LOS ANGELES.</p> <p>3. REQUIRED EXITS SHALL NOT BE BLOCKED AT ANY TIME.</p> <p>4. THE CONTRACTOR SHALL PROTECT ALL FINISHED WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF WORK AND SHALL REPLACE AND/OR REPAIR ALL DAMAGE CAUSED BY THE CONTRACTOR.</p> <p>5. WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE, A MINIMUM OF 1 WEEK ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.</p> <p>6. IN THE EVENT THE UTILITY SERVICE IS INTERRUPTED WITHOUT THE REQUIRED NOTICE, THE CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ALL DAMAGES SUFFERED BY THE OWNER DUE TO THE UNAUTHORIZED INTERRUPTION. RECONNECTION SHALL BE MADE IMMEDIATELY.</p> <p>7. OWNER'S INSPECTOR: AN INSPECTOR EMPLOYED BY THE OWNER IN ACCORDANCE WITH TITLE 24, CCR, SHALL BE ASSIGNED TO INSPECT THE WORK. THE WORK OF CONSTRUCTION IN ALL STAGES OF PROGRESS SHALL BE SUBJECT TO THE PERSONAL, CONTINUOUS OBSERVATION OF THE INSPECTOR. HE SHALL HAVE FREE ACCESS TO ANY OR ALL PARTS OF THE WORK AT ANY TIME. THE CONTRACTOR SHALL FURNISH THE INSPECTOR REASONABLE FACILITIES FOR OBTAINING SUCH INFORMATION AS MAY BE NECESSARY TO KEEP HIM FULLY INFORMED WITH RESPECT TO THE PROGRESS AND MANNER OF THE WORK AND THE CHARACTER OF THE MATERIALS. INSPECTION OF THE WORK SHALL NOT RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO FULFILL THIS CONTRACT.</p> <p>8. WHEN CONFLICTING INFORMATION IS FOUND IN THIS SET OF DRAWINGS AND SPECIFICATIONS, THE MOST RESTRICTIVE/COSTLY REQUIREMENT SHALL PREVAIL. AN RFI SHALL BE SENT TO THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR CHOOSES TO PROCEED WITH THE WORK WITHOUT CLARIFICATION FROM THE ARCHITECT, THE GENERAL CONTRACTOR SHALL BEAR ALL OF THE COST WITHOUT ADDITIONAL COST TO THE OWNER.</p> <p>DRAWING SET:</p> <p>1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COMPLETE SET OF CONTRACT DOCUMENTS, ADDENDA, DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL CHECK THE DRAWINGS OF THE OTHER TRADES AND SHALL CAREFULLY READ THE ENTIRE SPECIFICATIONS AND DETERMINE HIS RESPONSIBILITIES. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM DOING THE WORK IN COMPLETE ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.</p> <p>2. THE PROJECT DRAWINGS AND SPECIFICATIONS COMPRISE A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SHALL NOT BE SPLIT NOR SEPARATED BY THE CONTRACTOR DURING BIDDING NOR CONSTRUCTION. PARTIAL DRAWING SETS SHALL NOT BE PERMITTED TO BE USED ON THE JOB SITE.</p> <p>AS-BUILT DRAWINGS:</p> <p>1. THE CONTRACTOR SHALL PROVIDE AND KEEP UPDATED A COMPLETE RECORD SET OF DRAWINGS. THE RECORD DRAWINGS SHALL BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS, NEATLY DELINEATED WITH CONTRASTING COLOR TO INCLUDE ACTUAL LOCATIONS OF CONCEALED WORK. THIS SET OF DRAWINGS SHALL BE KEPT ON THE JOB SITE AND SHALL BE MADE AVAILABLE BY THE CONTRACTOR FOR REVIEW BY THE OWNER, ARCHITECT OR INSPECTOR OF RECORD UPON REQUEST.</p> <p>2. CONTRACTOR'S RECORD SET DRAWINGS SHALL BE DELIVERED TO THE ARCHITECT UPON FINAL COMPLETION OF THE WORK SO THAT THE ARCHITECT MAY PREPARE RECORD SET PLANS FOR THE OWNER.</p>		<p>ABBREVIATIONS</p> <table border="0"> <tr> <td>&</td><td>And</td><td>L.B.</td><td>Lag Bolt</td></tr> <tr> <td>∠</td><td>Angle</td><td>L.G.</td><td>Lead Glass</td></tr> <tr> <td>⊥</td><td>Centerline</td><td>L.H.</td><td>Left Hand</td></tr> <tr> <td>#</td><td>Pound or Number</td><td>LIN.</td><td>Linen</td></tr> <tr> <td>(E)</td><td>Existing</td><td>LKR.</td><td>Locker</td></tr> <tr> <td>(N)</td><td>New</td><td>LWC.</td><td>Lightweight Concrete</td></tr> <tr> <td></td><td></td><td>LVR.</td><td>Louwer</td></tr> <tr> <td>A/C</td><td>Air Conditioning</td><td>MAX.</td><td>Maximum</td></tr> <tr> <td>ACT.</td><td>Acoustical</td><td>MECH.</td><td>Mechanical</td></tr> <tr> <td>A.D.</td><td>Area Drain</td><td>MET.</td><td>Metal</td></tr> <tr> <td>ADJ.</td><td>Adjustable</td><td>MFR.</td><td>Manufacturer</td></tr> <tr> <td>A.F.F.</td><td>Above Finish Floor</td><td>MIN.</td><td>Minimum</td></tr> <tr> <td>A.F.C.</td><td>Above Finish Ceiling</td><td>MIR.</td><td>Mirror</td></tr> <tr> <td>AHJ</td><td>Authority Having Jurisdiction</td><td>MISC.</td><td>Miscellaneous</td></tr> <tr> <td>ALUM.</td><td>Aluminum</td><td>MIS.</td><td>Mounted</td></tr> <tr> <td>AN.</td><td>Anodized</td><td>ML.</td><td>Metal</td></tr> <tr> <td>APPROX.</td><td>Approximate</td><td>MUL.</td><td>Mullion</td></tr> <tr> <td>ASPH.</td><td>Asphalt</td><td></td><td></td></tr> <tr> <td>BD.</td><td>Board</td><td>N.</td><td>North</td></tr> <tr> <td>BLDG.</td><td>Building</td><td>N.I.C.</td><td>Not In Contract</td></tr> <tr> <td>BLK.</td><td>Block</td><td>N.C.</td><td>Nurse Call</td></tr> <tr> <td>BLKG.</td><td>Blocking</td><td>No. or #</td><td>Number</td></tr> <tr> <td>B.O.M.</td><td>Bottom of Mullion</td><td>NOM.</td><td>Nominal</td></tr> <tr> <td>B.O.C.</td><td>Back of Curb</td><td>N.T.S.</td><td>Not To Scale</td></tr> <tr> <td>BOT.</td><td>Bottom</td><td></td><td></td></tr> <tr> <td></td><td></td><td>O</td><td>Oxygen</td></tr> <tr> <td>CAB.</td><td>Cabinet</td><td>O.C.</td><td>On Center</td></tr> <tr> <td>C.B.</td><td>Catch Basin</td><td>O.D.</td><td>Outside Diameter</td></tr> <tr> <td>CER.</td><td>Ceramic</td><td>OFF.</td><td>Office</td></tr> <tr> <td>C.I.</td><td>Cast Iron</td><td>OH.</td><td>Overhead</td></tr> <tr> <td>CLG.</td><td>Ceiling</td><td>OPNG.</td><td>Opening</td></tr> <tr> <td>CLKG.</td><td>Caulking</td><td>OPP.</td><td>Opposite</td></tr> <tr> <td>CLR.</td><td>Clear</td><td>O.H.</td><td>Opposite hand</td></tr> <tr> <td>COL.</td><td>Column</td><td>O.F.C.I.</td><td>Owner Furnished Contractor Installed</td></tr> <tr> <td>CONC.</td><td>Concrete</td><td></td><td></td></tr> <tr> <td>CONN.</td><td>Connection</td><td>O.F.O.I.</td><td>Owner Furnished Owner Installed</td></tr> <tr> <td>CONSTR.</td><td>Construction</td><td>O.F.V.I.</td><td>Owner Furnished Vendor Installed</td></tr> <tr> <td>CONT.</td><td>Continuous</td><td></td><td></td></tr> <tr> <td>CORR.</td><td>Corridor</td><td>PAR.</td><td>Parallel</td></tr> <tr> <td>CPT.</td><td>Carpet</td><td>P.B.</td><td>Panic Bar</td></tr> <tr> <td>CNTR.</td><td>Counter</td><td>P.C.</td><td>Pre-cast</td></tr> <tr> <td>CTR.</td><td>Center</td><td>PL.</td><td>Plate</td></tr> <tr> <td>C.F.I.</td><td>Contractor Furnished Contractor Installed</td><td>P.G.</td><td>Plate Glass</td></tr> <tr> <td></td><td></td><td>P.L.A.M.</td><td>Plastic Laminate</td></tr> <tr> <td>DBL.</td><td>Double</td><td>PLYWD.</td><td>Plywood</td></tr> <tr> <td>DEMO.</td><td>Demolition</td><td>PR.</td><td>Pair</td></tr> <tr> <td>DEPT.</td><td>Department</td><td>P.S.I.</td><td>Pounds per Square Inch</td></tr> <tr> <td>D.F.</td><td>Drinking Fountain</td><td>P.T.</td><td>Point</td></tr> <tr> <td>D.H.</td><td>Double Hung</td><td>P.T.D.</td><td>Paper Towel Dispenser</td></tr> <tr> <td>DIAG.</td><td>Diagonal</td><td>P.T.D.T.</td><td>Paper Towel Dispenser & Trash</td></tr> <tr> <td>DIM.</td><td>Dimension</td><td></td><td></td></tr> <tr> <td>DISL.</td><td>Dispenser</td><td>Q.T.</td><td>Quarry Tile</td></tr> <tr> <td>DN.</td><td>Down</td><td>R.</td><td>Riser</td></tr> <tr> <td>D.O.</td><td>Door Opening</td><td>RAD.</td><td>Radius</td></tr> <tr> <td>DR.</td><td>Door</td><td>R.D.</td><td>Roof Drain</td></tr> <tr> <td>DS.</td><td>Downspout</td><td>REF.</td><td>Reference</td></tr> <tr> <td>D.S.P.</td><td>Dry Standpipe</td><td>REFR.</td><td>Refrigerator</td></tr> <tr> <td>DWG.</td><td>Drawing</td><td>REG.</td><td>Register</td></tr> <tr> <td>DWR.</td><td>Drawer</td><td>REIN.F.</td><td>Reinforced</td></tr> <tr> <td>E.</td><td>East</td><td>REQ.</td><td>Required</td></tr> <tr> <td>EA.</td><td>Each</td><td>RESIL.</td><td>Resilient</td></tr> <tr> <td>EL.</td><td>Elevation</td><td>RFG.</td><td>Roofing</td></tr> <tr> <td>ELEC.</td><td>Electrical</td><td>R.H.</td><td>Right Hand</td></tr> <tr> <td>ELEV.</td><td>Elevator/Elevation</td><td>RIB.</td><td>Rib</td></tr> <tr> <td>EMER.</td><td>Emergency</td><td>R.O.</td><td>Rough Opening</td></tr> <tr> <td>ENCL.</td><td>Enclosure</td><td></td><td></td></tr> <tr> <td>E.P.B.</td><td>Electrical Panel Board</td><td>S.</td><td>South</td></tr> <tr> <td>EQ.</td><td>Equal</td><td>S.C.</td><td>Solid Core</td></tr> <tr> <td>EQUIP.</td><td>Equipment</td><td>S.C.D.</td><td>Seat Cover Dispenser</td></tr> <tr> <td>EST.</td><td>Estimate</td><td>SCHED.</td><td>Schedule</td></tr> <tr> <td>E.W.A.</td><td>Electric Water Cooler</td><td>SECT.</td><td>Section</td></tr> <tr> <td>E.W.H.</td><td>Electric Water Heater</td><td>SG.</td><td>Semi Gloss</td></tr> <tr> <td>EXH.</td><td>Exhaust</td><td>SH.</td><td>Sheet</td></tr> <tr> <td>EXIST.</td><td>Existing</td><td>SHR.</td><td>Shower</td></tr> <tr> <td>EXP.</td><td>Expansion</td><td>SHT.</td><td>Sheet</td></tr> <tr> <td>EXT.</td><td>Exterior</td><td>SHM.</td><td>Similar</td></tr> <tr> <td></td><td></td><td>S.N.D.</td><td>Sanitary Napkin Dispenser</td></tr> <tr> <td>F.A.</td><td>Fire Alarm</td><td>S.N.R.</td><td>Sanitary Napkin Receptacle</td></tr> <tr> <td>F.D.</td><td>Floor Drain</td><td>S.P.</td><td>Starting Point</td></tr> <tr> <td>FDN.</td><td>Foundation</td><td>SPEC.</td><td>Specifications</td></tr> <tr> <td>F.A.</td><td>Fire Extinguisher</td><td>SQ.</td><td>Square</td></tr> <tr> <td>F.A.C.</td><td>Fire Extinguisher Cabinet</td><td>S.S.</td><td>Stainless Steel</td></tr> <tr> <td>F.B.</td><td>Finish Floor</td><td>STA.</td><td>Station</td></tr> <tr> <td>F.H.C.</td><td>Fire Hose Cabinet</td><td>STD.</td><td>Standard</td></tr> <tr> <td>FN.</td><td>Finish</td><td>STG.</td><td>Sheathing</td></tr> <tr> <td>FL.</td><td>Floor</td><td>STL.</td><td>Steel</td></tr> <tr> <td>FLR.</td><td>Floor</td><td>STR.</td><td>Structural</td></tr> <tr> <td>FLASH.</td><td>Flashing</td><td>SUSP.</td><td>Suspended</td></tr> <tr> <td>FLUOR.</td><td>Fluorescent</td><td>SY.</td><td>Sheet Vinyl</td></tr> <tr> <td>F.O.C.</td><td>Face of Concrete</td><td>SYM.</td><td>Symmetrical</td></tr> <tr> <td>F.O.F.</td><td>Face of Finish</td><td></td><td></td></tr> <tr> <td>F.O.M.</td><td>Face of Masonry</td><td>TR.</td><td>Tread</td></tr> <tr> <td>F.O.S.</td><td>Face of Stud</td><td>TEL.</td><td>Telephone</td></tr> <tr> <td>F.P.</td><td>Flat Point</td><td>T.G.</td><td>Tempered Glass</td></tr> <tr> <td>FRFR.</td><td>Fireproof</td><td>THK.</td><td>Thick</td></tr> <tr> <td>F.S.</td><td>Full Size</td><td>THR.</td><td>Threshold</td></tr> <tr> <td>FT.</td><td>Foot/Foot</td><td>T.O.J.</td><td>Top Of Joint</td></tr> <tr> <td>FTG.</td><td>Footing</td><td>T.O.P.</td><td>Top Of Pavement</td></tr> <tr> <td>FUT.</td><td>Future</td><td>T.P.D.</td><td>Toilet Paper Dispenser</td></tr> <tr> <td>F.V.</td><td>Field Verify</td><td>TV</td><td>Television</td></tr> <tr> <td></td><td></td><td>T.O.W.</td><td>Top Of Wall</td></tr> <tr> <td>GA.</td><td>Gauge</td><td>TYP.</td><td>Typical</td></tr> <tr> <td>GALV.</td><td>Galvanized</td><td></td><td></td></tr> <tr> <td>G.B.</td><td>Grab Bar</td><td>UNF.</td><td>Unfinished</td></tr> <tr> <td>GL.</td><td>Glass</td><td>U.N.O.</td><td>Unless Noted Otherwise</td></tr> <tr> <td>GND.</td><td>Ground</td><td>U.O.N.</td><td>Unless Otherwise Noted</td></tr> <tr> <td>GR.</td><td>Grade</td><td></td><td></td></tr> <tr> <td>GYP.</td><td>Gypsum</td><td>V.I.F.</td><td>Verify In Field</td></tr> <tr> <td></td><td></td><td>V.B.</td><td>Vacuum</td></tr> <tr> <td>H.A.</td><td>Hollow Core</td><td>V.C.T.</td><td>Vinyl Composite Tile</td></tr> <tr> <td>HDWD.</td><td>Hardwood</td><td>VERT.</td><td>Ventilation</td></tr> <tr> <td>HDW.</td><td>Hardware</td><td>VEST.</td><td>Vestibule</td></tr> <tr> <td>H.M.</td><td>Hollow Metal</td><td>VIN.</td><td>Vinyl</td></tr> <tr> <td>HORIZ.</td><td>Horizontal</td><td>V.T.</td><td>Vinyl Tile</td></tr> <tr> <td>HR.</td><td>Hour</td><td></td><td></td></tr> <tr> <td>HGT.</td><td>Height</td><td></td><td></td></tr> <tr> <td>HVAC.</td><td>Heating/Ventilating/Air Conditioning</td><td></td><td></td></tr> <tr> <td>H.W.H.</td><td>Hot Water Heater</td><td></td><td></td></tr> <tr> <td>I.D.</td><td>Inside Diameter</td><td></td><td></td></tr> <tr> <td>INSUL.</td><td>Insulation</td><td></td><td></td></tr> <tr> <td>INT.</td><td>Interior</td><td></td><td></td></tr> <tr> <td>INV.</td><td>Invert</td><td></td><td></td></tr> <tr> <td>JAN.</td><td>Janitor</td><td></td><td></td></tr> <tr> <td>JNT.</td><td>Joint</td><td></td><td></td></tr> <tr> <td>KIT.</td><td>Kitchen</td><td></td><td></td></tr> <tr> <td>LAM.</td><td>Laminate</td><td></td><td></td></tr> <tr> <td>LAV.</td><td>Lavatory</td><td></td><td></td></tr> </table>		&	And	L.B.	Lag Bolt	∠	Angle	L.G.	Lead Glass	⊥	Centerline	L.H.	Left Hand	#	Pound or Number	LIN.	Linen	(E)	Existing	LKR.	Locker	(N)	New	LWC.	Lightweight Concrete			LVR.	Louwer	A/C	Air Conditioning	MAX.	Maximum	ACT.	Acoustical	MECH.	Mechanical	A.D.	Area Drain	MET.	Metal	ADJ.	Adjustable	MFR.	Manufacturer	A.F.F.	Above Finish Floor	MIN.	Minimum	A.F.C.	Above Finish Ceiling	MIR.	Mirror	AHJ	Authority Having Jurisdiction	MISC.	Miscellaneous	ALUM.	Aluminum	MIS.	Mounted	AN.	Anodized	ML.	Metal	APPROX.	Approximate	MUL.	Mullion	ASPH.	Asphalt			BD.	Board	N.	North	BLDG.	Building	N.I.C.	Not In Contract	BLK.	Block	N.C.	Nurse Call	BLKG.	Blocking	No. or #	Number	B.O.M.	Bottom of Mullion	NOM.	Nominal	B.O.C.	Back of Curb	N.T.S.	Not To Scale	BOT.	Bottom					O	Oxygen	CAB.	Cabinet	O.C.	On Center	C.B.	Catch Basin	O.D.	Outside Diameter	CER.	Ceramic	OFF.	Office	C.I.	Cast Iron	OH.	Overhead	CLG.	Ceiling	OPNG.	Opening	CLKG.	Caulking	OPP.	Opposite	CLR.	Clear	O.H.	Opposite hand	COL.	Column	O.F.C.I.	Owner Furnished Contractor Installed	CONC.	Concrete			CONN.	Connection	O.F.O.I.	Owner Furnished Owner Installed	CONSTR.	Construction	O.F.V.I.	Owner Furnished Vendor Installed	CONT.	Continuous			CORR.	Corridor	PAR.	Parallel	CPT.	Carpet	P.B.	Panic Bar	CNTR.	Counter	P.C.	Pre-cast	CTR.	Center	PL.	Plate	C.F.I.	Contractor Furnished Contractor Installed	P.G.	Plate Glass			P.L.A.M.	Plastic Laminate	DBL.	Double	PLYWD.	Plywood	DEMO.	Demolition	PR.	Pair	DEPT.	Department	P.S.I.	Pounds per Square Inch	D.F.	Drinking Fountain	P.T.	Point	D.H.	Double Hung	P.T.D.	Paper Towel Dispenser	DIAG.	Diagonal	P.T.D.T.	Paper Towel Dispenser & Trash	DIM.	Dimension			DISL.	Dispenser	Q.T.	Quarry Tile	DN.	Down	R.	Riser	D.O.	Door Opening	RAD.	Radius	DR.	Door	R.D.	Roof Drain	DS.	Downspout	REF.	Reference	D.S.P.	Dry Standpipe	REFR.	Refrigerator	DWG.	Drawing	REG.	Register	DWR.	Drawer	REIN.F.	Reinforced	E.	East	REQ.	Required	EA.	Each	RESIL.	Resilient	EL.	Elevation	RFG.	Roofing	ELEC.	Electrical	R.H.	Right Hand	ELEV.	Elevator/Elevation	RIB.	Rib	EMER.	Emergency	R.O.	Rough Opening	ENCL.	Enclosure			E.P.B.	Electrical Panel Board	S.	South	EQ.	Equal	S.C.	Solid Core	EQUIP.	Equipment	S.C.D.	Seat Cover Dispenser	EST.	Estimate	SCHED.	Schedule	E.W.A.	Electric Water Cooler	SECT.	Section	E.W.H.	Electric Water Heater	SG.	Semi Gloss	EXH.	Exhaust	SH.	Sheet	EXIST.	Existing	SHR.	Shower	EXP.	Expansion	SHT.	Sheet	EXT.	Exterior	SHM.	Similar			S.N.D.	Sanitary Napkin Dispenser	F.A.	Fire Alarm	S.N.R.	Sanitary Napkin Receptacle	F.D.	Floor Drain	S.P.	Starting Point	FDN.	Foundation	SPEC.	Specifications	F.A.	Fire Extinguisher	SQ.	Square	F.A.C.	Fire Extinguisher Cabinet	S.S.	Stainless Steel	F.B.	Finish Floor	STA.	Station	F.H.C.	Fire Hose Cabinet	STD.	Standard	FN.	Finish	STG.	Sheathing	FL.	Floor	STL.	Steel	FLR.	Floor	STR.	Structural	FLASH.	Flashing	SUSP.	Suspended	FLUOR.	Fluorescent	SY.	Sheet Vinyl	F.O.C.	Face of Concrete	SYM.	Symmetrical	F.O.F.	Face of Finish			F.O.M.	Face of Masonry	TR.	Tread	F.O.S.	Face of Stud	TEL.	Telephone	F.P.	Flat Point	T.G.	Tempered Glass	FRFR.	Fireproof	THK.	Thick	F.S.	Full Size	THR.	Threshold	FT.	Foot/Foot	T.O.J.	Top Of Joint	FTG.	Footing	T.O.P.	Top Of Pavement	FUT.	Future	T.P.D.	Toilet Paper Dispenser	F.V.	Field Verify	TV	Television			T.O.W.	Top Of Wall	GA.	Gauge	TYP.	Typical	GALV.	Galvanized			G.B.	Grab Bar	UNF.	Unfinished	GL.	Glass	U.N.O.	Unless Noted Otherwise	GND.	Ground	U.O.N.	Unless Otherwise Noted	GR.	Grade			GYP.	Gypsum	V.I.F.	Verify In Field			V.B.	Vacuum	H.A.	Hollow Core	V.C.T.	Vinyl Composite Tile	HDWD.	Hardwood	VERT.	Ventilation	HDW.	Hardware	VEST.	Vestibule	H.M.	Hollow Metal	VIN.	Vinyl	HORIZ.	Horizontal	V.T.	Vinyl Tile	HR.	Hour			HGT.	Height			HVAC.	Heating/Ventilating/Air Conditioning			H.W.H.	Hot Water Heater			I.D.	Inside Diameter			INSUL.	Insulation			INT.	Interior			INV.	Invert			JAN.	Janitor			JNT.	Joint			KIT.	Kitchen			LAM.	Laminate			LAV.	Lavatory			<p>SYMBOLS LEGEND</p>		<p>PROJECT NARRATIVE</p> <p>TO DEMOLISH THE MAIN HIGH DESERT HOSPITAL BUILDING, (18) SURROUNDING AUXILIARY BUILDINGS, AND (2) TRAILERS. HAUL AWAY EXISTING (31) CONTAINERS OFF SITE. TO PREPARE SITE FOR GRADING FOR LONG TERM (5+ YEARS) STORM WATER MANAGEMENT - SEE PERMIT APPLICATION (GRAD211213000554)</p> <p>SITE DATA</p> <p>PARCEL IDENTIFICATION SITE ADDRESS: 44900 NORTH 60TH STREET, WEST LANCASTER, CA 93536</p> <p>ASSESSOR'S PARCEL NO.: 3203-014-901</p> <p>SITE INFORMATION LIMIT OF WORK AREA: 9.89 ACRES</p> <p>ZONE: *OTHER PROPERTY TYPE*</p> <p>USE DESCRIPTION: GOVERNMENT PARCEL</p> <p>USE CODE: 8800</p> <p>PROJECT DIRECTORY</p> <p>OWNER: LOS ANGELES COUNTY PUBLIC WORKS 900 SOUTH FREMONT AVE, 5TH FLOOR ALHAMBRA, CA 91803 CONTACT: GUS BITAR TEL: 562-673-3798</p> <p>ARCHITECT: SWA ARCHITECTS 48 EAST HOLLY STREET PASADENA, CA 91103 CONTACT: DAN BISE TEL: 626-793-9805 FAX: 626-793-9807</p> <p>CIVIL ENGINEER: FUSCOE ENGINEERING 800 WILSHIRE BLVD, SUITE 1470 LOS ANGELES, CA 90017 CONTACT: BRITANNY KNOTT TEL: 213-989-8802</p> <p>GEOTECHNICAL: GEOCON WEST 3303 N. SAN FERNANDO BLVD, SUITE 100 BURBANK, CA 91504 CONTACT: NEAL BERLINER TEL: 818-841-8388</p> <p>SPECIFICATIONS: KCS SPECIFICATIONS 6484 CORTE LA LIZ CARLSBAD, CA 92009 CONTACT: KURT C. SCHWARM TEL: 805-541-1001</p>		<p>SHEET INDEX</p> <table border="1"> <tr> <th colspan="2">TITLE SHEETS</th> </tr> <tr> <td>T-1.00</td> <td>GENERAL NOTES, SHEET INDEX, VICINITY MAP, LEGEND</td> </tr> <tr> <td colspan="2">CIVIL - INCLUDED FOR REFERENCE ONLY</td> </tr> <tr> <td>C1.00</td> <td>TITLE SHEET</td> </tr> <tr> <td>C1.01</td> <td>GENERAL NOTES</td> </tr> <tr> <td>C2.00</td> <td>DEMO PLAN</td> </tr> <tr> <td>C2.01</td> <td>DEMO PLAN</td> </tr> <tr> <td>C3.00</td> <td>UTILITY PLAN</td> </tr> <tr> <td>C3.01</td> <td>UTILITY PLAN</td> </tr> <tr> <td>C4.00</td> <td>GRADING PLAN</td> </tr> <tr> <td>C5.00</td> <td>SECTIONS</td> </tr> <tr> <td>C6.00</td> <td>EROSION CONTROL PLAN</td> </tr> <tr> <td>C6.01</td> <td>EROSION CONTROL PLAN</td> </tr> <tr> <th colspan="2">ARCHITECTURAL</th> </tr> <tr> <td>A-1.00</td> <td>EXISTING SITE PLAN</td> </tr> </table>		TITLE SHEETS		T-1.00	GENERAL NOTES, SHEET INDEX, VICINITY MAP, LEGEND	CIVIL - INCLUDED FOR REFERENCE ONLY		C1.00	TITLE SHEET	C1.01	GENERAL NOTES	C2.00	DEMO PLAN	C2.01	DEMO PLAN	C3.00	UTILITY PLAN	C3.01	UTILITY PLAN	C4.00	GRADING PLAN	C5.00	SECTIONS	C6.00	EROSION CONTROL PLAN	C6.01	EROSION CONTROL PLAN	ARCHITECTURAL		A-1.00	EXISTING SITE PLAN
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DISL.	Dispenser	Q.T.	Quarry Tile																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
DN.	Down	R.	Riser																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
D.O.	Door Opening	RAD.	Radius																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
DR.	Door	R.D.	Roof Drain																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
DS.	Downspout	REF.	Reference																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
D.S.P.	Dry Standpipe	REFR.	Refrigerator																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
DWG.	Drawing	REG.	Register																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
DWR.	Drawer	REIN.F.	Reinforced																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
E.	East	REQ.	Required																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EA.	Each	RESIL.	Resilient																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EL.	Elevation	RFG.	Roofing																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
ELEC.	Electrical	R.H.	Right Hand																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
ELEV.	Elevator/Elevation	RIB.	Rib																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EMER.	Emergency	R.O.	Rough Opening																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
ENCL.	Enclosure																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
E.P.B.	Electrical Panel Board	S.	South																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EQ.	Equal	S.C.	Solid Core																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EQUIP.	Equipment	S.C.D.	Seat Cover Dispenser																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EST.	Estimate	SCHED.	Schedule																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
E.W.A.	Electric Water Cooler	SECT.	Section																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
E.W.H.	Electric Water Heater	SG.	Semi Gloss																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EXH.	Exhaust	SH.	Sheet																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EXIST.	Existing	SHR.	Shower																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EXP.	Expansion	SHT.	Sheet																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
EXT.	Exterior	SHM.	Similar																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
		S.N.D.	Sanitary Napkin Dispenser																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.A.	Fire Alarm	S.N.R.	Sanitary Napkin Receptacle																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.D.	Floor Drain	S.P.	Starting Point																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FDN.	Foundation	SPEC.	Specifications																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.A.	Fire Extinguisher	SQ.	Square																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.A.C.	Fire Extinguisher Cabinet	S.S.	Stainless Steel																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.B.	Finish Floor	STA.	Station																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.H.C.	Fire Hose Cabinet	STD.	Standard																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FN.	Finish	STG.	Sheathing																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FL.	Floor	STL.	Steel																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FLR.	Floor	STR.	Structural																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FLASH.	Flashing	SUSP.	Suspended																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FLUOR.	Fluorescent	SY.	Sheet Vinyl																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.O.C.	Face of Concrete	SYM.	Symmetrical																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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F.O.M.	Face of Masonry	TR.	Tread																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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F.P.	Flat Point	T.G.	Tempered Glass																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FRFR.	Fireproof	THK.	Thick																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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FT.	Foot/Foot	T.O.J.	Top Of Joint																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FTG.	Footing	T.O.P.	Top Of Pavement																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
FUT.	Future	T.P.D.	Toilet Paper Dispenser																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
F.V.	Field Verify	TV	Television																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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G.B.	Grab Bar	UNF.	Unfinished																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
GL.	Glass	U.N.O.	Unless Noted Otherwise																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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GYP.	Gypsum	V.I.F.	Verify In Field																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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H.A.	Hollow Core	V.C.T.	Vinyl Composite Tile																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
HDWD.	Hardwood	VERT.	Ventilation																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
HDW.	Hardware	VEST.	Vestibule																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
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<p>DEFERRED SUBMITTALS</p> <p>INSTALLATION OF THE FOLLOWING ITEMS SHALL NOT BE STARTED UNTIL DETAILED PLANS, SPECIFICATIONS AND ENGINEERING CALCULATIONS HAVE BEEN SUBMITTED TO AND APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD AND COUNTY OF LOS ANGELES. THE ARCHITECT OR ENGINEER OF RECORD SHALL REVIEW AND FORWARD SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS TO COUNTY OF LOS ANGELES WITH A NOTATION INDICATING THAT THE DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT.</p> <p>1. NONE</p>		<p>APPLICABLE CODES</p> <p>APPLICABLE CODES CURRENT ADOPTED EDITIONS</p> <ol style="list-style-type: none"> 2020 COUNTY OF LOS ANGELES BUILDING CODE (TITLE 26), INCORPORATING THE 2019 CALIFORNIA BUILDING CODE (BASED ON THE 2018 INTERNATIONAL BUILDING CODE) 2020 COUNTY OF LOS ANGELES ELECTRICAL CODE (TITLE 27), INCORPORATING THE 2019 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2017 NATIONAL ELECTRICAL CODE) 2020 COUNTY OF LOS ANGELES PLUMBING CODE (TITLE 28), INCORPORATING THE 2019 CALIFORNIA PLUMBING CODE (BASED ON THE 2018 UNIFORM PLUMBING CODE) 2020 COUNTY OF LOS ANGELES MECHANICAL CODE (TITLE 29), INCORPORATING THE 2019 CALIFORNIA MECHANICAL CODE (BASED ON THE 2018 UNIFORM MECHANICAL CODE) 2020 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE (TITLE 31), INCORPORATING THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2020 COUNTY OF LOS ANGELES FIRE CODE (TITLE 32), INCORPORATING THE 2019 CALIFORNIA FIRE CODE (BASED ON THE 2018 INTERNATIONAL FIRE CODE) 2019 CALIFORNIA ENERGY CODE NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS, 2019 EDITION NFPA 72 - NATIONAL FIRE ALARM AND SIGNALING CODE, 2019 EDITION 		<p>VICINITY MAP</p>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															

HIGH DESERT MACC DEMOLITION

SOUTHEAST CORNER OF W AVE I AND 60TH STREET WEST, LANCASTER, CA (44900 60TH ST. WEST)



VICINITY MAP
SCALE: N.T.S.
THOMAS GUIDE: 482-A1

OWNER

LOS ANGELES COUNTY PUBLIC WORKS
900 S. FREMONT AVENUE
ALHAMBRA, CA 91803
A: 626.300.2334
B: 626.979.5320

ARCHITECT

SWA ARCHITECTS
48 EAST HOLLY STREET
PASADENA, CA 91103
CONTACT: DAN BISE
T: 626.793.9805
F: 626.793.9807

CIVIL ENGINEER

FUSCOE ENGINEERING, INC.
600 WILSHIRE BLVD #1470
LOS ANGELES, CA 90017
CONTACT: BRITTANY KNOTT
T: 213.988.8802
F: 213.988.8803

SOILS ENGINEER

GEOCON WEST, INC.
3303 N. SAN FERNANDO BLVD. - SUITE 100
BURBANK, CA 91504
CONTACT:
T: 818.841.8388
F: 818.841.1704

WDID#

XXXX

APN#

3203-014-901

GENERAL NOTES:

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2020 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE, PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
- APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURED HAVE BEEN TAKEN:
 - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS OF THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL. ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.

IF AN OAK TREE PERMIT IS OBTAINED: (ADD THE FOLLOWING NOTE)

ALL GRADING AND CONSTRUCTION WITHIN THE PROTECTED ZONE OF ALL OAK TREES SHALL BE PER OAK TREE PERMIT NO. _____ ALL RECOMMENDATIONS IN THE PERMIT AND ASSOCIATED OAK TREE REPORT MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING PLAN. A COPY OF THE OAK TREE PERMIT AND ASSOCIATED REPORTS SHALL BE MAINTAINED IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J101.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE COMPLETED PRIOR TO NOVEMBER 1, THE OWNER OF THE SITE ON WHICH THE GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESCP PER SECTION J110.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK, IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

PROJECT DESCRIPTION

GENERAL INFORMATION

GRADING PERMIT APPLICATION NO: GRAD211213000554
TOTAL DISTURBED AREA 9.88 (ACRES)
TOTAL PROPOSED LANDSCAPE AREA 0
TOTAL TURF AREA N/A% (PERCENT OF TOTAL PROPOSED LANDSCAPING)
TOTAL DROUGHT TOLERANT LANDSCAPING AREA N/A% (PERCENT OF TOTAL PROPOSED LANDSCAPING)
PRE-DEVELOPMENT IMPERVIOUS AREA 9.88 (ACRES)
POST-DEVELOPMENT IMPERVIOUS AREA 0 (ACRES)
CONSTRUCTION & DEMOLITION DEBRIS RECYCLING AND REUSE PLAN (RPP ID)
EXPORT LOCATION: WM - LANCASTER LANDFILL

PROPERTY INFORMATION

PROPERTY ADDRESS: 44900 NORTH 60TH ST. WEST LANCASTER, CA 93536
PROPERTY OWNER: COUNTY OF LOS ANGELES
ASSESSORS ID NUMBER (S) 3203-014-901

ZONING, REGIONAL PLANNING, AND OTHER AGENCY INFORMATION

PROPERTY ZONING: N/A
INTENDED LAND USE: OTHER PROPERTY TYPE, GOVERNMENT OWNED
CERTIFICATE OF COMPLIANCE: CC NO. N/A
PLOT PLAN NUMBER: PP NO. N/A
CONDITIONAL USE PERMIT: CUP NO. N/A
OAK TREE PERMIT NUMBER: OTP NO. N/A
COMMUNITY STANDARDS DISTRICT: N/A
COASTAL COMMISSION: X_NO
COASTAL DEVELOPMENT PERMIT CDP N/A

NOTE: CONTRACTOR NOT TO EXCEED 3 DAYS OF 5000 CY OR MORE OF DIRT MOVEMENTS PER DAY WITHOUT A FUGITIVE DUST PERMIT. PLEASE CONTACT SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT AT (909) 396-2000

EARTHWORK VOLUME ANALYSIS

DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)	DISPOSITION
RAW	19,446	9,316	-	-
OVER-EX	42,555	42,555	-	-
SHRINKAGE TOTAL	62,001	59,282	2,719	CUT
CONCRETE	-	802	802	FILL
ASPHALT	-	1,939	1,939	FILL
NET TOTAL	62,001	62,023	22	FILL

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS-83) ZONE V, 2019.55 EPOCH, AS DERIVED LOCALLY BY GPS CONTINUALLY OPERATING REFERENCE STATIONS LNI AND P556 AS PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER HAVING A BEARING OF S 71°47'27" E.
ALL DISTANCES WERE SCALED TO GROUND BY APPLYING THE COMPUTED COMBINATION FACTOR (CF) 0.9998149652.

BENCHMARK

COUNTY OF LOS ANGELES BM NO.: TL2083
ELEV.: 2349.030' NAVD 88 (2012)
CSBM MON IN E HDWL OF ABAN DRWY TO MIRA LOMA FACILITY 29.5FT
S/O C/L AVE I & 0.2MI E/O 60TH ST W MKD (BM 102-11A 1962)

PROPOSED SCOPE

TO DEMOLISH THE MAIN HIGH DESERT HOSPITAL BUILDING, (18) SURROUNDING AUXILIARY BUILDINGS, AND (2) TRAILERS. HAUL AWAY EXISTING (31) CONTAINERS OFF SITE, TO PREPARE SITE FOR GRADING FOR LONG TERM (5+ YEARS) STORM WATER MANAGEMENT - SEE PERMIT APPLICATION GRAD211213000554.

SHEET INDEX

SHEET DESCRIPTION	SHEET NO.
TITLE SHEET AND GENERAL NOTES	C1.00-1.01
SITE DEMO PLAN	C2.00-2.01
UTILITY DEMO PLAN	C3.00-3.01
GRADING PLAN	C4.00
SECTIONS	C5.00
EROSION CONTROL PLAN	C6.00-6.01



FUSCOE
ENGINEERING
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Los Angeles, California 90017
tel 213.988.8802 • fax 213.988.8803
www.fuscoe.com

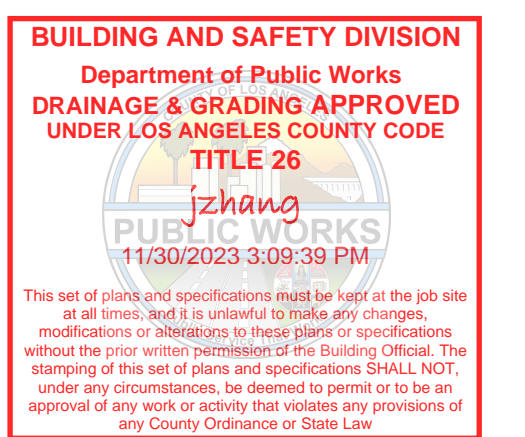


COUNTY OF
LOS ANGELES

HIGH DESERT
HOSPITAL
SITE CLEARANCE

44900 NORTH 60TH ST. WEST
LANCASTER, CA 93536

AGENCY STAMP



AGENCY NUMBER

ISSUE/REVISION	
PLAN CHECK	12/3/2021
BACK CHECK (BLDG ONLY)	1/10/2022
BACK CHECK 2	8/7/2022

PROJECT DATA	
DATE	07-23-21
ENGINEER	BK
CHECKED BY	BK
DRAWN BY	JJ
PROJECT NO.	499-012
SHEET TITLE	
TITLE SHEET	
SHEET NO.	

GEOTECHNICAL NOTE

THIS PLAN HAS BEEN REVIEWED AND APPEARS TO BE IN GENERAL CONFORMITY WITH THE RECOMMENDATIONS OF THE REFERENCE GEOTECHNICAL REPORTS.

LIMITED GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY GEOCON WEST, INC., DATED OCTOBER 29, 2021.

NOTICE TO CONTRACTOR

PURSUANT TO ASSEMBLY BILL 3019 NO EXCAVATION PERMIT IS VALID UNLESS THE CONTRACTOR CONTACTS AND OBTAINS AN INQUIRY I.D. NUMBER FROM "UNDER- GROUND SERVICE ALERT" (1-800-422-4133) AT LEAST TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION.

UTILITY PURVEYORS

WATER	LA COUNTY WATER 1000 SOUTH FREMONT AVENUE BUILDING A9-E, 4TH FLOOR ALHAMBRA, CA 91803 626.300.3343
GAS	SOUTHERN CALIFORNIA GAS CO. 2065 W AVE K LANCASTER, CA 93536 310.687.2011
ELECTRICAL	SOUTHERN CALIFORNIA EDISON
CABLE	SPECTRUM 1104 WEST AVENUE K SUITES A & B LANCASTER, CA 93534 888.406.7063

ENGINEER'S/SURVEYOR'S STATEMENT REGARDING THE PRESENCE OF MONUMENTS WITHIN PROJECT LIMITS

I HEREBY ATTEST THAT I HAVE LOCATED AND REFERENCED ON THESE PLANS THE MONUMENTS EXISTING PRIOR TO CONSTRUCTION TO ENSURE PERPETUATION OF THEIR LOCATION IN ACCORDANCE WITH SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE. I FURTHER ATTEST THAT I HAVE PERFORMED A RECORD SEARCH AND FIELD INSPECTION TO IDENTIFY EXISTING MONUMENTS; SHALL SET SUFFICIENT CONTROLLING, WITNESS, AND PERMANENT MONUMENTS; AND SHALL FILE THE REQUISITE CORNER RECORD OR RECORD OF SURVEY TO THE REFERENCES WITH THE COUNTY SURVEYOR.

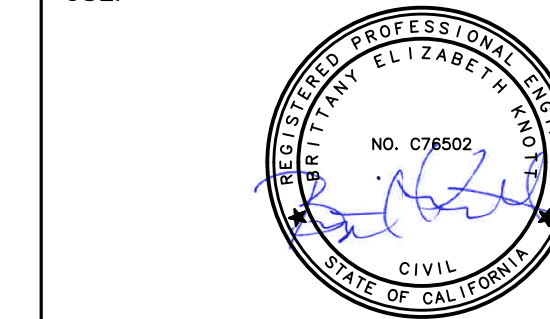


ENGINEER/SURVEYOR SEAL & SIGNATURE

10/17/23
DATE

PRIVATE/UTILITY EASEMENT

AS CIVIL ENGINEER/LAND SURVEYOR OF THIS PROJECT, I HAVE IDENTIFIED THE LOCATION OF ALL EASEMENTS WHICH ARE DEPICTED ON THESE PLANS. I HAVE REVIEWED THE PROPOSED EASEMENT DOCUMENTS AND VERIFIED THE PROPOSED CONSTRUCTION DOES NOT CONFLICT OR INTERFERE WITH THE INTENDED EASEMENT USE.



ENGINEER/SURVEYOR SEAL & SIGNATURE

10/17/23
DATE

LA COUNTY SOILS AND GEOLOGY
APPROVAL REQUIRED PRIOR TO
ROUGH GRADE APPROVAL



C1.00

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL REMOVE SHRUB & TURF MATERIAL AS DIRECTED BY OWNER WITHIN THE LIMIT OF WORK AREA.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING BURIED FOOTINGS OF ITEMS SCHEDULED FOR REMOVAL.
- CONTRACTOR SHALL USE EXTREME CARE TO PROTECT ALL EXISTING UTILITIES AND NEW CONSTRUCTION IN PLACE.
- ALL EXISTING TREES NOT SCHEDULED FOR REMOVAL SHALL REMAIN AND BE PROTECTED IN PLACE PER SPECIFICATIONS.
- ANY ITEMS NOT SCHEDULED FOR REMOVAL BUT INTERFERING WITH NEW CONSTRUCTION SHALL BE REMOVED.
- GRUBBING: CLEAR SITE OF GRASS, ROOTS, SHRUBS, TREE STUMPS, WEED GROWTH, MASONRY, RUBBISH AND DEBRIS. ROOTS ONE INCH IN DIAMETER AND LARGER, ROCKS AND MISCELLANEOUS BROKEN MASONRY LARGER THAN 3 INCHES IN GREATEST DIMENSION SHALL BE REMOVED TO A MINIMUM OF 12 INCHES BELOW FINISHED GRADE.
- TREES: PROTECT TREES WITHIN THE PROJECT SITE WHICH ARE INDICATED TO BE LEFT IN PLACE AND WHICH MIGHT BE DAMAGED DURING DEMOLITION, BY SIX FOOT HIGH FENCES. ERECT FENCES AT THE OUTER PERIMETER OF BRANCHES OF INDIVIDUAL TREES OR FOLLOW THE OUTER PERIMETER OF BRANCHES OF CLUMPS OF TREES. RESTORE TREES SCARRED OR DAMAGED BY CONTRACTOR EQUIPMENT OR OPERATIONS TO THEIR ORIGINAL CONDITION OR REPLACE AS DETERMINED BY OWNER. OWNER WILL APPROVE RESTORATION PROCEDURES PRIOR TO INITIATION.
- UTILITIES AND RELATED EQUIPMENT: REMOVE ALL EXISTING UTILITIES AS INDICATED AND AS UNCOVERED BY WORK, AND TERMINATE IN A MANNER CONFORMING TO CODE, AND AT A TIME SATISFACTORY TO THE OWNER. REMOVE METERS AND RELATED EQUIPMENT AND DELIVER TO A LOCATION AS INSTRUCTED BY THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER. DISPOSE OF UTILITY LINES ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS IN ACCORDANCE WITH INSTRUCTIONS OF OWNER.
- IRRIGATION VALVES, RELATED PIPING AND HEADS: REMOVE AS INDICATED ON DRAWINGS. SALVAGEABLE MATERIALS AS DETERMINED BY THE OWNER SHALL BE DELIVERED TO THE OWNER AT A LOCATION INDICATED BY THE OWNER.
- UNDERGROUND PIPING: REMOVE AS INDICATED AND BACK FILL TO COMPACTION DENSITY DESIGNATED BY OWNER. DEMOLISHED STUB-UPS SHALL BE TERMINATED AT A MINIMUM TWO FEET BELOW NEW FINISHED GRADE UNLESS DESIGNATED OTHERWISE ON DRAWINGS. LINES WHICH CONNECT TO ACTIVE SYSTEMS SHALL BE CAPPED, PLUGGED OR BLIND FLANGED AS APPROPRIATE.
- MATERIALS USED FOR PIPE TERMINATIONS AND TEMPORARY CONNECTIONS SHALL BE THE SAME AS THE EXISTING LINES. FITTINGS AND FLANGES SHALL BE OF WEIGHT AND CLASS SUITABLE FOR THE SERVICE IN WHICH USED.
- MECHANICAL AND ELECTRICAL SYSTEMS:
 - REMOVE TO THE EXTENT INDICATED ON DRAWINGS.
 - DEMOLITION WORK AFFECTING ON GOING SYSTEMS SHALL BE COORDINATED AND SCHEDULED WITH THE OWNER TO PREVENT DISRUPTION OF BUILDING OPERATIONS.
- DEMOLITION: MATERIALS OR EQUIPMENT TO BE DEMOLISHED SHALL BECOME THE PROPERTY OF THE CONTRACTOR EXCEPT FOR ITEMS SPECIFIED TO REMAIN THE PROPERTY OF THE OWNER. SUCH ITEMS, IF ANY, SHALL BE CAREFULLY REMOVED TO AVOID DAMAGE AND BE DELIVERED BY THE CONTRACTOR TO LOCATION STIPULATED.
- REPLACEMENT: IN THE EVENT OF DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF OWNER AND AT NO ADDITIONAL COST TO THE OWNER.
- DEBRIS AND RUBBISH: REMOVE AND TRANSPORT DEBRIS AND RUBBISH TO AN OFF-SITE DISPOSAL AREA VIA AN APPROVED HAUL ROUTE IN A MANNER THAT WILL PREVENT SPILLAGE ON STREETS OR ADJACENT AREAS. CLEAN UP SPILLAGE FROM STREETS AND ADJACENT AREAS.
- DO NOT STORE OR BURN MATERIALS ON-SITE.

CONCRETE REMOVAL NOTES

WHERE REINFORCEMENT IS REQUIRED TO EXTEND THROUGH THE NEW JOINT, CONCRETE SHALL BE REMOVED IN THE FOLLOWING SEQUENCE:

- A SAWCUT SHALL BE MADE ONE AND ONE-HALF INCHES DEEP AT THE REMOVAL CARE SHALL BE EXERCISED IN SAWING AT THE REMOVAL LIMITS SO AS NOT TO CUT THE REINFORCING STEEL IN THE REMAINING SLAB. THE EXISTING REINFORCING STEEL SHALL BE RETAINED AND EXTENDED INTO THE NEW CONSTRUCTION AS INDICATED ON THE PLANS.
- USING HANDHELD EQUIPMENT, THE CONCRETE SHALL BE CAREFULLY REMOVED FOR THE FULL DEPTH OF THE WALL OR SLAB AND FOR A MINIMUM DISTANCE FROM THE SAWCUT EQUAL TO THE LONGEST EXTENSION OF THE EXISTING BARS TO BE EXTENDED INTO THE NEW CONSTRUCTION. THIS EXTENSION SHALL BE 30 BAR DIAMETERS, UNLESS OTHERWISE SHOWN.
- EXISTING REINFORCEMENT SHALL BE CUT TO THE REQUIRED BAR EXTENSION.
- THE REMAINING CONCRETE MAY BE REMOVED BY ANY SUITABLE METHOD UPON APPROVAL OF THE ENGINEER, WHO SHALL BE THE SOLE JUDGE OF THE USE OF ANY CONCRETE REMOVAL EQUIPMENT. EXPLOSIVES, WRECKING BALL, OR OTHER SIMILAR DEVICES, WHICH ARE LIKELY TO DAMAGE THE CONCRETE TO BE LEFT IN PLACE, SHALL NOT BE USED.

AIR QUALITY NOTES

- DURING CONSTRUCTION ACTIVITIES, FUGITIVE DUST CONTROL MEASURES SHALL BE APPLIED, WHICH INCLUDE THE FOLLOWING:
 - APPLY SOIL STABILIZERS OR MOISTEN INACTIVE AREAS;
 - PREPARE AND IMPLEMENT A HIGH WIND DUST CONTROL PLAN;
 - STABILIZE PREVIOUSLY DISTRIBUTED AREAS IF SUBSEQUENT CONSTRUCTION IS DELAYED;
 - WATER EXPOSED SURFACES AS NEEDED FOR DUST SUPPRESSION (TYPICALLY 3 TIMES/DAY);
 - COVER ALL STOCK PILES WITH TARPS AT THE END OF EACH DAY OR AS NEEDED;
 - PROVIDE WATER SPRAY DURING LOADING AND UNLOADING OF EARTHEN MATERIALS;
 - MINIMIZE IN-OUT TRAFFIC FROM CONSTRUCTION ZONE;
 - COVER ALL TRUCKS Hauling DIRT, SAND, OR LOOSE MATERIAL OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD; AND
 - SWEEP STREETS DAILY IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE.

NOISE NOTES

- DURING SITE GRADING AND CONSTRUCTION, COUNTY OF LOS ANGELES NOISE STANDARDS SHALL BE FULLY IMPLEMENTED AND SHALL INCLUDE THE FOLLOWING SITE-SPECIFIC REQUIREMENTS:
 - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. AND 9:00 P.M. ON WEEKDAYS AND 8:00 A.M. AND 6:00 P.M. ON ANY SATURDAY. CONSTRUCTION SHALL NOT BE PERMITTED ON ANY NATIONAL HOLIDAY OR ON ANY SUNDAY.
 - ALL CONSTRUCTION EQUIPMENT SHALL USE PROPERLY OPERATING MUFFLERS.
 - ANY POWERED EQUIPMENT OR POWERED HAND TOOL THAT PRODUCES A MAXIMUM NOISE LEVEL EXCEEDING 75 DBA AT A DISTANCE OF 50 FEET FROM SAID SOURCE SHALL BE PROHIBITED UNLESS A MEANS EXISTS TO REDUCE SUCH NOISE BELOW 75 DBA. THE USE OF A TEMPORARY NOISE BARRIER DURING CONSTRUCTION IS CONSIDERED A REASONABLE AND FEASIBLE MEASURE, AS DESCRIBED BELOW, IF THE 75 DBA NOISE ORDINANCE REQUIREMENT CANNOT BE ACHIEVED BY OTHER MEANS.

GENERAL NOTICE TO CONTRACTOR

THE EXISTENCE AND APPROXIMATE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY A SEARCH OF THE AVAILABLE PUBLIC RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UNDERGROUND UTILITIES OR STRUCTURES EXCEPT AS SHOWN ON THIS MAP/PLAN. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK IN THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

GENERAL GEOTECHNICAL NOTES

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION. (900 S. FREMONT, ALHAMBRA, CA 91803 - 3RD FLOOR).
- THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS (SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE). THE FINAL REPORT(S) MUST BE SUBMITTED TO THE INSPECTOR FOR REVIEW AND APPROVAL.
- FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER, PRIOR TO PLACING OF STEEL OR CONCRETE.
- BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING.

FILL NOTES

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 - 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
 - 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.

THE RELATIVE COMPACTION SHALL BE DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE; WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION J07.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
 - 95 PERCENT OF MAXIMUM DRY DENSITY IS REQUIRED FOR ALL FIRE LANES UNLESS OTHERWISE APPROVED BY THE FIRE DEPARTMENT.
- FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - ONE TEST FOR EACH TWO-FOOT VERTICAL FT.
 - ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
 - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
 - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
- SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
 - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
 - FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.

- FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS." ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
- ROCK OR SIMILAR MATERIAL GREATER THAN 6 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE).
- ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE).

INSPECTION NOTES

- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK. (SECTION J105.7 OF THE BUILDING CODE.)
 - PRE-GRADE -BEFORE THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION.
 - INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
 - ROUGH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 - FINAL - WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
- IN ADDITION TO THE INSPECTION REQUIRED BY THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERED GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES", SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:
 - BI-WEEKLY DURING ALL TIMES WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE;
 - MONTHLY, AT ALL OTHER TIMES; AND
 - AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL.

SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS, AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE <http://dsw.lacounty.gov/bsed/dg/default.aspx>. "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (310) 530-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER."

- ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
- FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
- A PROPERTY LINE SURVEY, PREPARED BY A CA LICENSED LAND SURVEYOR OR A CIVIL ENGINEER WITH A LICENSE NUMBER BELOW C33966, MAY BE REQUIRED BY THE BUILDING OFFICIAL BASED UPON SITE CONDITIONS IN ACCORDANCE WITH LACBC SECTION 108.1.

AGENCY NOTES

- AN ENCROACHMENT PERMIT/CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM TO CONDITIONS SET BY THE PERMIT.
- PERMISSION TO OPERATE IN VERY HIGH FIRE HAZARD SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION/DEMOLITION, GRADING, AND STORAGE OF BULK MATERIALS MUST COMPLY WITH THE LOCAL AQMD RULE 403 FOR FUGITIVE DUST. INFORMATION ON RULE 403 IS AVAILABLE AT AQMD'S WEBSITE <http://www.ovaqmd.com>.



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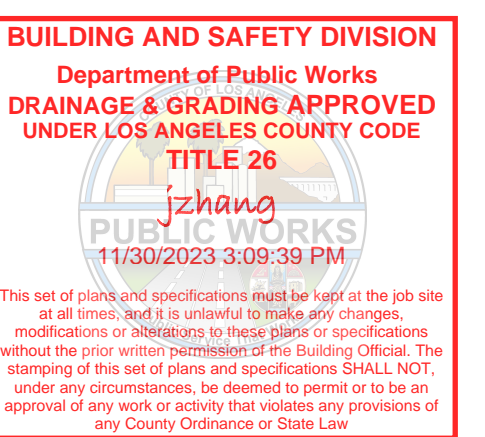


COUNTY OF
LOS ANGELES

HIGH DESERT
HOSPITAL
SITE CLEARANCE

44900 NORTH 60TH ST, WEST
LANCASTER, CA 93536

AGENCY STAMP



AGENCY NUMBER

ISSUE/REVISION	
PLAN CHECK	12/3/2021
BACK CHECK (BLDG ONLY)	1/10/2022
BACK CHECK 2	8/7/2022

PROJECT DATA	
DATE	07-23-21
ENGINEER	BK
CHECKED BY	BK
DRAWN BY	JJ
PROJECT NO.	499-012
SHEET TITLE	
GENERAL NOTES	
SHEET NO.	

PROJECT DATA	
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GENERAL NOTES

SHEET NO.

C1.01



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BACK CHECK 2 6/7/2022

PROJECT DATA
DATE 07-23-21
ENGINEER BK
CHECKED BY BK
DRAWN BY JJ
PROJECT NO. 499-012

SHEET TITLE
DEMO PLAN

SHEET NO.
C2.01

LEGEND

- X EXISTING WALL/FENCE
- EXISTING CONTOUR
- LIMIT OF WORK
- ELECTRICAL LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING RAMP TO BE DEMOLISHED

DEMOLITION NOTES

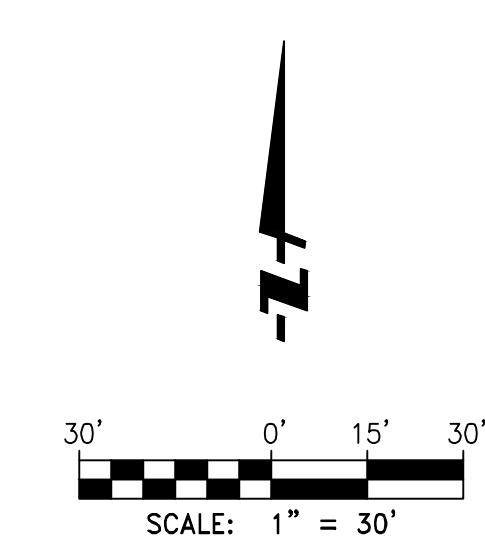
- 1 PROTECT IN PLACE ITEM NOTED PER PLAN
- 2 REMOVE EXISTING BUILDING
- 3 REMOVE EXISTING FENCE
- 4 REMOVE EXISTING CURB
- 5 REMOVE EXISTING RAMP
- 6 REMOVE EXISTING ASPHALT
- 7 REMOVE EXISTING TREE
- 8 REMOVE EXISTING SIDEWALK
- 9 REMOVE EXISTING POST
- 10 REMOVE EXISTING SIGN
- 11 REMOVE EXISTING BENCH
- 12 REMOVE EXISTING CONCRETE
- 13 REMOVE EXISTING GATE
- 14 REMOVE EXISTING LOADING DOCK AND ASSOCIATED RETAINING WALLS AND RAILINGS
- 15 REMOVE EXISTING TRASH CAN
- 16 REMOVE EXISTING FLAG POLE
- 17 REMOVE EXISTING FENCE WALL
- 18 ABANDON EXISTING UTILITY ITEM NOTED PER PLAN
- 19 REMOVE EXISTING PARKING STRIPING
- 20 REMOVE EXISTING STRUCTURE (UNKNOWN)
- 21 REMOVE EXISTING PLANTER
- 22 REMOVE EXISTING LANDSCAPE
- 23 REMOVE EXISTING CONTAINERS
- 24 REMOVE EXISTING MOBILE TRAILER

NOTE:
SEE UTILITY PLANS C3.00 and C3.01 FOR ALL SUBSURFACE UTILITY DESIGN
*BUILDINGS ON THE SOUTH SIDE OF THE SITE WILL BE DEMOLISHED AND AN EARTHEN PAD WILL REMAIN IN PLACE



#	B#	Name	SF	Demo Permit #
-	-	MAIN HOSPITAL	113,500	BLDG211213002107
AUX BUILDINGS				
1.	B1	Gibbons	4,985	BLDG220506000669
2.	B2	Pediatrics	3,339	BLDG220506000670
3.	B3	Peds LASD	1,587	BLDG220506000671
4.	B4	Urgent Care	6,953	BLDG220506000672
5.	B5	OP Pharmacy	4,995	BLDG220506000673
6.	B6	Recovery	3,290	BLDG220506000674
7.	B7	Doctor's Office	3,996	BLDG220506000675
8.	B8	Information Systems	2,888	BLDG220506000676
9.	B11	Coroner	5,317	BLDG220506000677
10.	E-Gen	Emergency Generator	608	BLDG220506000678
11.	B12	Building 12	1,601	BLDG220506000679
12.	HM	HM	190	BLDG220506000680
13.	B13	Building 13	1,716	BLDG220506000681
14.	B20	Building 20	807	BLDG220506000682
15.	B21	Building 21	161	BLDG220506000683
16.	B22	Building 22	248	BLDG220506000684
17.	B23	Building 23	243	BLDG220506000685
18.	B24	Building 24	424	BLDG220506000686
-	B9	B9 Trailer	608	BLDG220506000687
-	B10	B10 Trailer	610	BLDG220506000688

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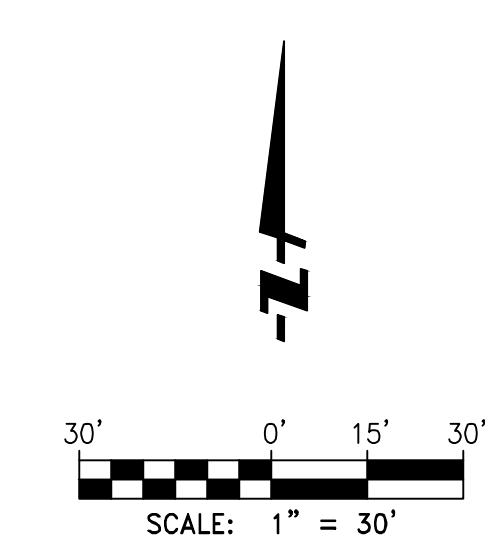
LEGEND

X	EXISTING WALL/FENCE
[Dashed line]	EXISTING CONTOUR
[Thick dashed line]	LIMIT OF WORK
[Line with cross-ticks]	ABANDON EXISTING ELECTRICAL LINE
[Line with vertical ticks]	ABANDON EXISTING GAS LINE
[Line with horizontal ticks]	ABANDON EXISTING WATER LINE
[Line with diagonal ticks]	ABANDON EXISTING SEWER LINE
[Shaded area]	EXISTING BUILDING TO BE DEMOLISHED

- UTILITY CONSTRUCTION NOTES**
- CUT & CAP EXISTING UTILITY
 - ABANDON EXISTING SEWER MAIN SIZE PER PLAN
 - ABANDON EXISTING WATER MAIN & APPURTENANCES SIZE PER PLAN
 - ABANDON EXISTING GAS MAIN SIZE PER PLAN
 - ABANDON EXISTING ELECTRICAL LINES
 - ABANDON EXISTING STEAM LINES

NOTE:

- CONTRACTOR TO VERIFY ALL UTILITY LINE SIZES AS NEEDED. SIZES SHOWN ARE INTERPRETED FROM MULTIPLE EXISTING PLANS AND NOT ALL ARE KNOWN.
- REFER TO MEP PLANS FOR EXISTING UTILITIES WITHIN BUILDING FOOTPRINTS. EXISTING UTILITIES WITHIN THE BUILDING FOOTPRINTS SHOWN FOR REFERENCE ONLY ON THIS PLAN SET.
- UTILITY LENGTHS SHOWN ON THIS PLAN ARE APPROXIMATE.
- UTILITIES ARE PROVIDED FOR REFERENCE ONLY AND SEPARATE PERMITS MAY BE REQUIRED.



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COUNTY OF
LOS ANGELES

HIGH DESERT
HOSPITAL
SITE CLEARANCE

44900 NORTH 60TH ST, WEST
LANCASTER, CA 93536

AGENCY STAMP

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PROJECT DATA
DATE 07-23-21
ENGINEER BK
CHECKED BY BK
DRAWN BY JJ
PROJECT NO. 499-012

SHEET TITLE
UTILITY PLAN

SHEET NO.

C3.01

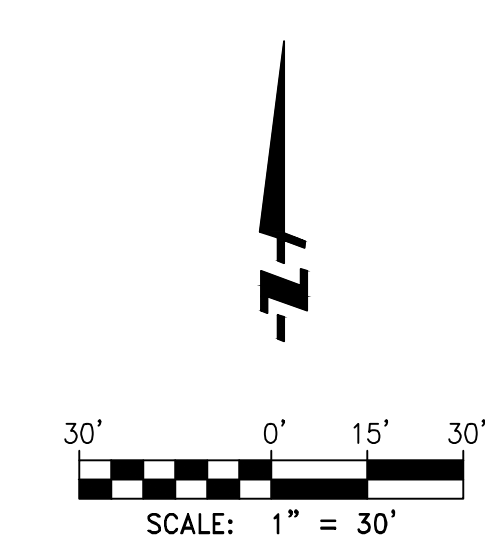
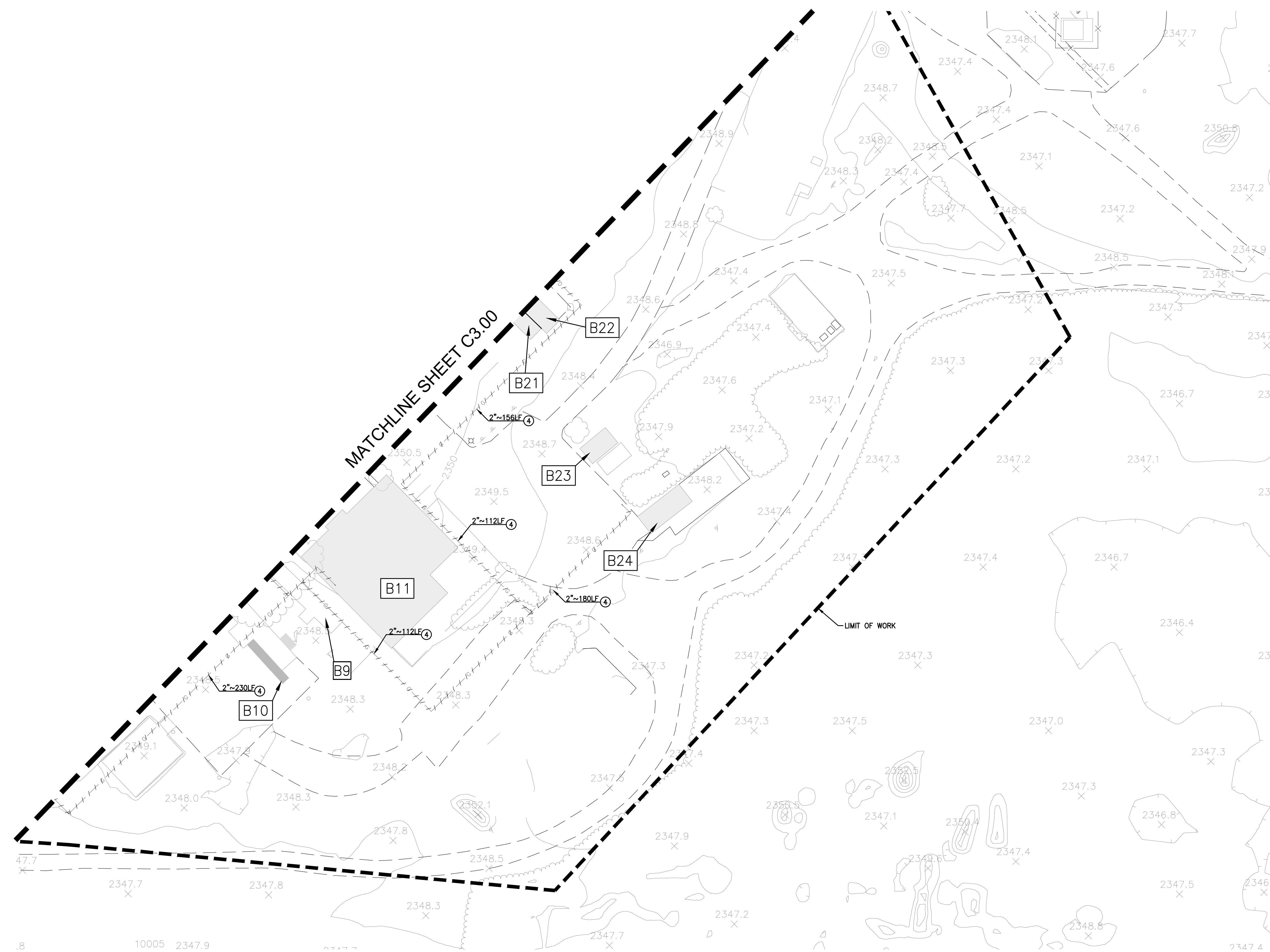
LEGEND

- X EXISTING WALL/FENCE
- EXISTING CONTOUR
- LIMIT OF WORK
- ABANDON EXISTING ELECTRICAL LINE
- ABANDON EXISTING GAS LINE
- ABANDON EXISTING WATER LINE
- ABANDON EXISTING SEWER LINE
- EXISTING BUILDING TO BE DEMOLISHED

UTILITY CONSTRUCTION NOTES

- ① CUT & CAP EXISTING UTILITY
- ② ABANDON EXISTING SEWER MAIN SIZE PER PLAN
- ③ ABANDON EXISTING WATER MAIN & APPURTENANCES SIZE PER PLAN
- ④ ABANDON EXISTING GAS MAIN SIZE PER PLAN
- ⑤ ABANDON EXISTING ELECTRICAL LINES
- ⑥ ABANDON EXISTING STEAM LINES

NOTE:
1. CONTRACTOR TO VERIFY ALL UTILITY LINE SIZES AS NEEDED. SIZES SHOWN ARE INTERPRETED FROM MULTIPLE EXISTING PLANS AND NOT ALL ARE KNOWN.
2. REFER TO MEP PLANS FOR EXISTING UTILITIES WITHIN BUILDING FOOTPRINTS. EXISTING UTILITIES WITHIN THE BUILDING FOOTPRINTS SHOWN FOR REFERENCE ONLY ON THIS PLAN SET.
3. UTILITY LENGTHS SHOWN ON THIS PLAN ARE APPROXIMATE.
4. UTILITIES ARE PROVIDED FOR REFERENCE ONLY AND SEPARATE PERMITS MAY BE REQUIRED.



LEGEND

- XX PROPOSED MINOR CONTOUR
- XX PROPOSED MAJOR CONTOUR
- XX EXISTING CONTOUR
- LIMIT OF WORK
- LIMIT OF GRADING
- PROPOSED FLOW LINE
- PROPOSED GRADE BREAK
- X EXISTING FENCE
- R- RIDGE LINE
- EG EXISTING GRADE
- FG FINISHED GRADE
- FL FLOWLINE
- PAD PAD ELEVATION
- HYDROSEED

CONSTRUCTION NOTES

- 1 PLACE HYDROSEEDING PER COUNTY OF LOS ANGELES BMP REQUIREMENTS
- 2 CONSTRUCT SEDIMENT BASIN PER DETAIL 1 THIS SHEET & PER THE CALIFORNIA STORMWATER BMP HANDBOOK SE-2

NOTE:

- EARTHWORK SHOULD BE OBSERVED, AND COMPACTED FILL TESTED BY REPRESENTATIVES OF THE GEOTECHNICAL ENGINEER.
- ANY ENCOUNTERED OVERSIZE MATERIAL (GREATER THAN 6 INCHES) AND ANY ENCOUNTERED DELETERIOUS DEBRIS SUCH AS WOOD AND ROOT STRUCTURES SHOULD BE EXPORTED FROM THE SITE AND SHOULD NOT BE MIXED WITH THE FILL SOILS. ASPHALT AND CONCRETE SHOULD NOT BE MIXED WITH THE FILL SOILS UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.
- ALL EXCAVATIONS MUST BE OBSERVED AND APPROVED IN WRITING BY THE GEOTECHNICAL ENGINEER. PRIOR TO PLACING ANY FILL, THE UPPER 12 INCHES OF THE EXCAVATION BOTTOM MUST BE SCARIFIED, MOISTENED, AND PROOF-ROLLED WITH HEAVY EQUIPMENT IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. ANY EXPOSED SOFT SOILS SHOULD BE COMPACTED TO A DENSE STATE AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
- ALL FILL AND BACKFILL SHOULD BE PLACED IN HORIZONTAL LOOSE LAYERS APPROXIMATELY 6 TO 8 INCHES THICK, MOISTURE CONDITIONED TO 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND PROPERLY COMPACTED TO A MINIMUM OF 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D 1557 (LATEST EDITION).
- IMPORTED FILL, IF ANY, SHALL BE OBSERVED, TESTED, AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO BRINGING SOIL TO THE SITE. ROCKS LARGER THAN 6 INCHES IN DIAMETER SHALL NOT BE USED IN THE FILL. IMPORT SOILS USED AS STRUCTURAL FILL SHOULD HAVE AN EXPANSION INDEX LESS THAN 50 AND CORROSIIVITY PROPERTIES THAT ARE EQUALLY OR LESS DETRIMENTAL TO THAT OF THE EXISTING ONSITE SOILS. IMPORT SOILS SHOULD BE PLACED UNIFORMLY IN A MANNER THAT IS APPROVED BY THE GEOTECHNICAL ENGINEER.
- UTILITY LINES PLANNED FOR REMOVAL SHOULD BE COMPLETELY REMOVED AND THE RESULTING DEPRESSION MAY BE BACKFILLED USING ONSITE SOIL OR APPROVED IMPORT SOIL. BACKFILL SHOULD BE COMPACTED AS NECESSARY, UNTIL THE REQUIRED COMPACTION IS OBTAINED. THE USE OF MINIMUM 2-SACK SLURRY IS ALSO ACCEPTABLE AS BACKFILL.
- PRIOR TO PLACING ANY BACKFILL MATERIALS THE EXCAVATION BOTTOM MUST BE OBSERVED AND APPROVED IN WRITING BY THE GEOTECHNICAL ENGINEER.

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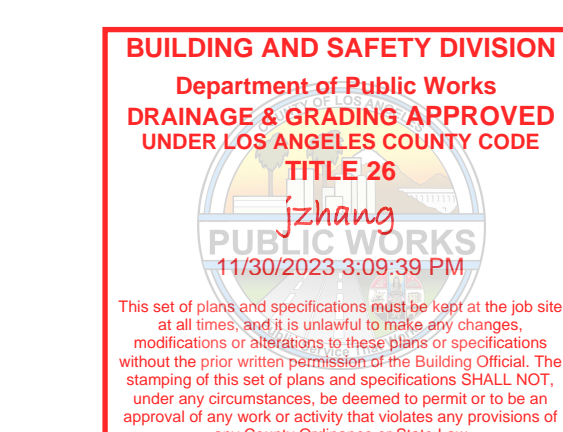


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AGENCY M Stamp



AGENCY NUMBER

ISSUE/REVISION	12/3/2021
PLAN CHECK	
BACK CHECK (BLDG ONLY)	1/10/2022
BACK CHECK 2	8/7/2022

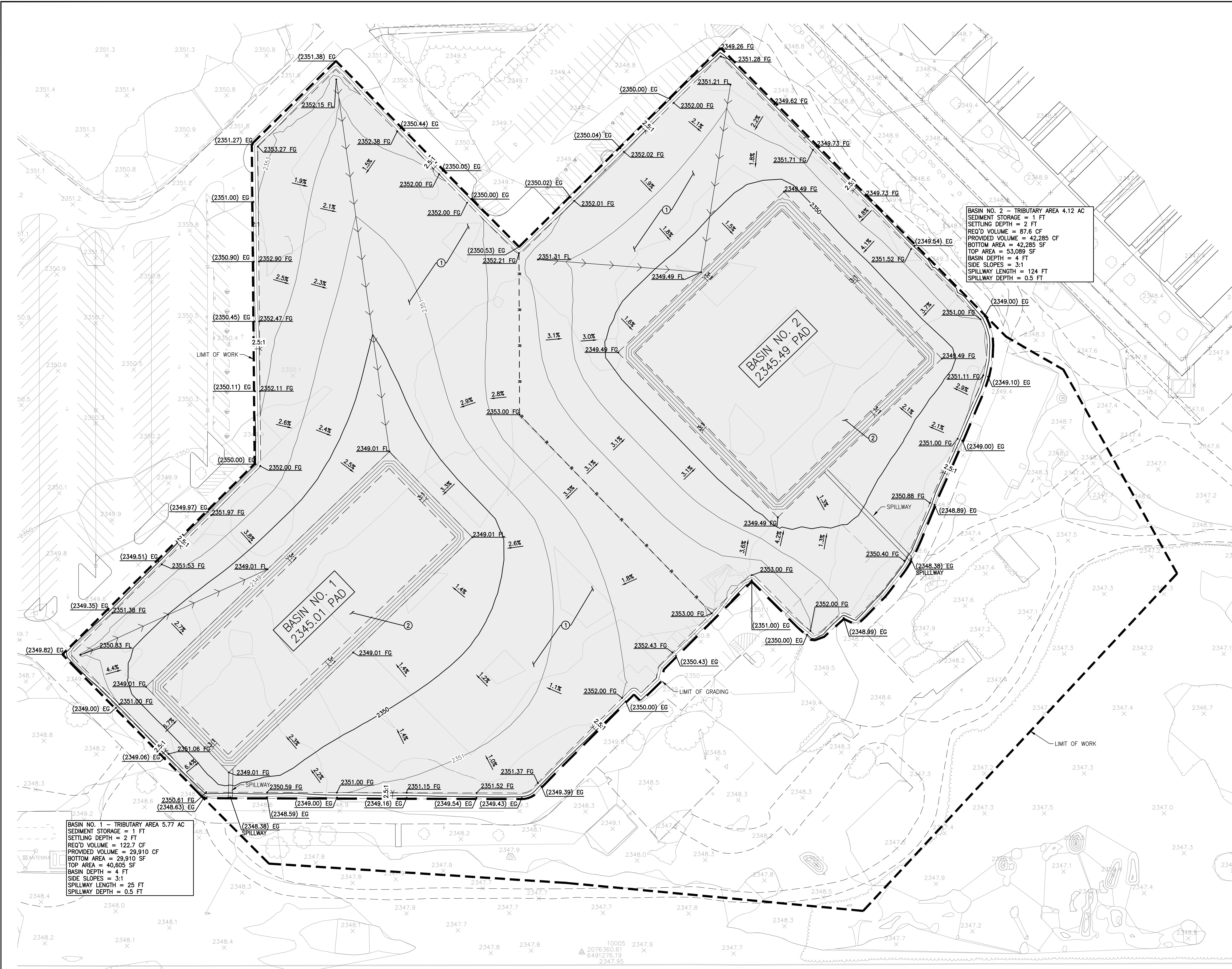
PROJECT DATA

DATE	07-23-21
ENGINEER	BK
CHECKED BY	BK
DRAWN BY	JJ
PROJECT NO.	499-012

GRADING PLAN

SHEET NO.

C4.00

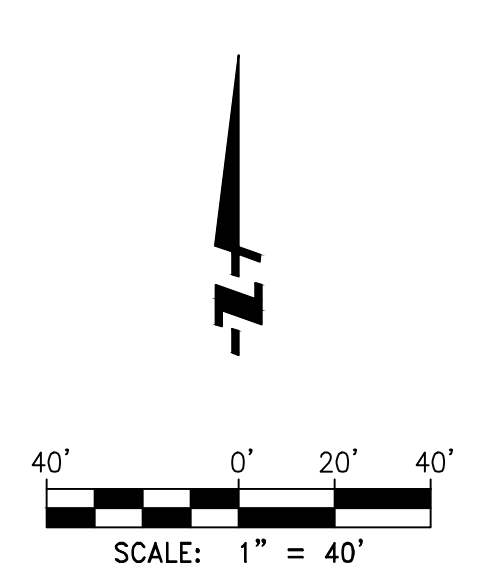
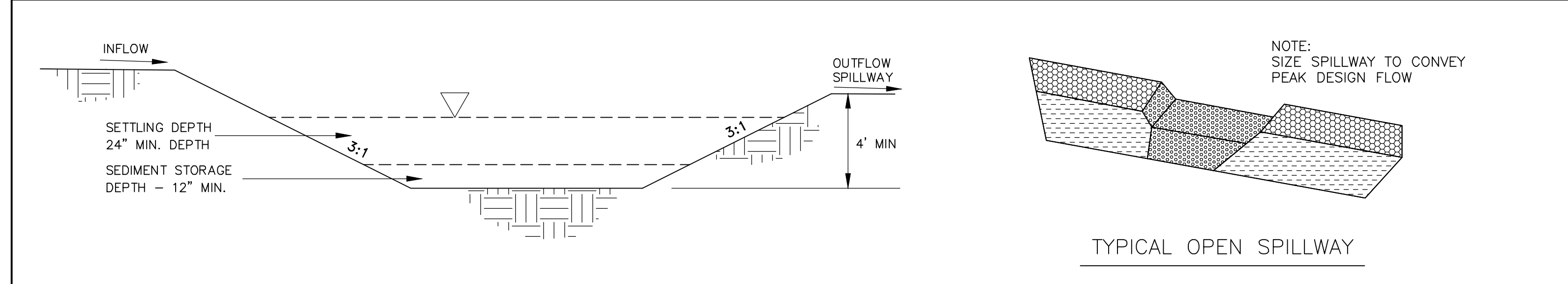


BASIN NO. 1 - TRIBUTARY AREA 5.77 AC
SEDIMENT STORAGE = 1 FT
SETTLING DEPTH = 2 FT
REQ'D VOLUME = 122.7 CF
PROVIDED VOLUME = 29,910 CF
BOTTOM AREA = 29,910 SF
TOP AREA = 40,805 SF
BASIN DEPTH = 4 FT
SIDE SLOPES = 3:1
SPILLWAY LENGTH = 25 FT
SPILLWAY DEPTH = 0.5 FT

BASIN NO. 2 - TRIBUTARY AREA 4.12 AC
SEDIMENT STORAGE = 1 FT
SETTLING DEPTH = 2 FT
REQ'D VOLUME = 87.6 CF
PROVIDED VOLUME = 42,285 CF
BOTTOM AREA = 42,285 SF
TOP AREA = 53,089 SF
BASIN DEPTH = 4 FT
SIDE SLOPES = 3:1
SPILLWAY LENGTH = 124 FT
SPILLWAY DEPTH = 0.5 FT

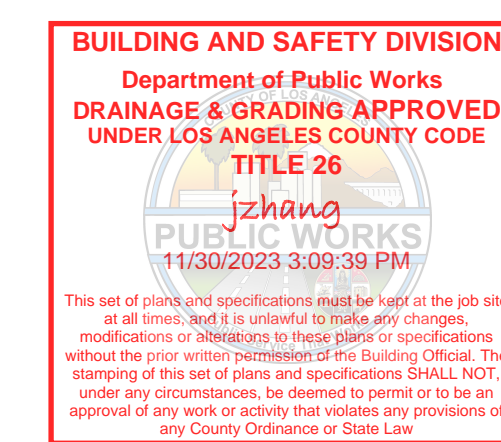
BASIN NO. 2
2345.49 PAD

BASIN NO. 1
2345.01 PAD





AGENCY STAMP



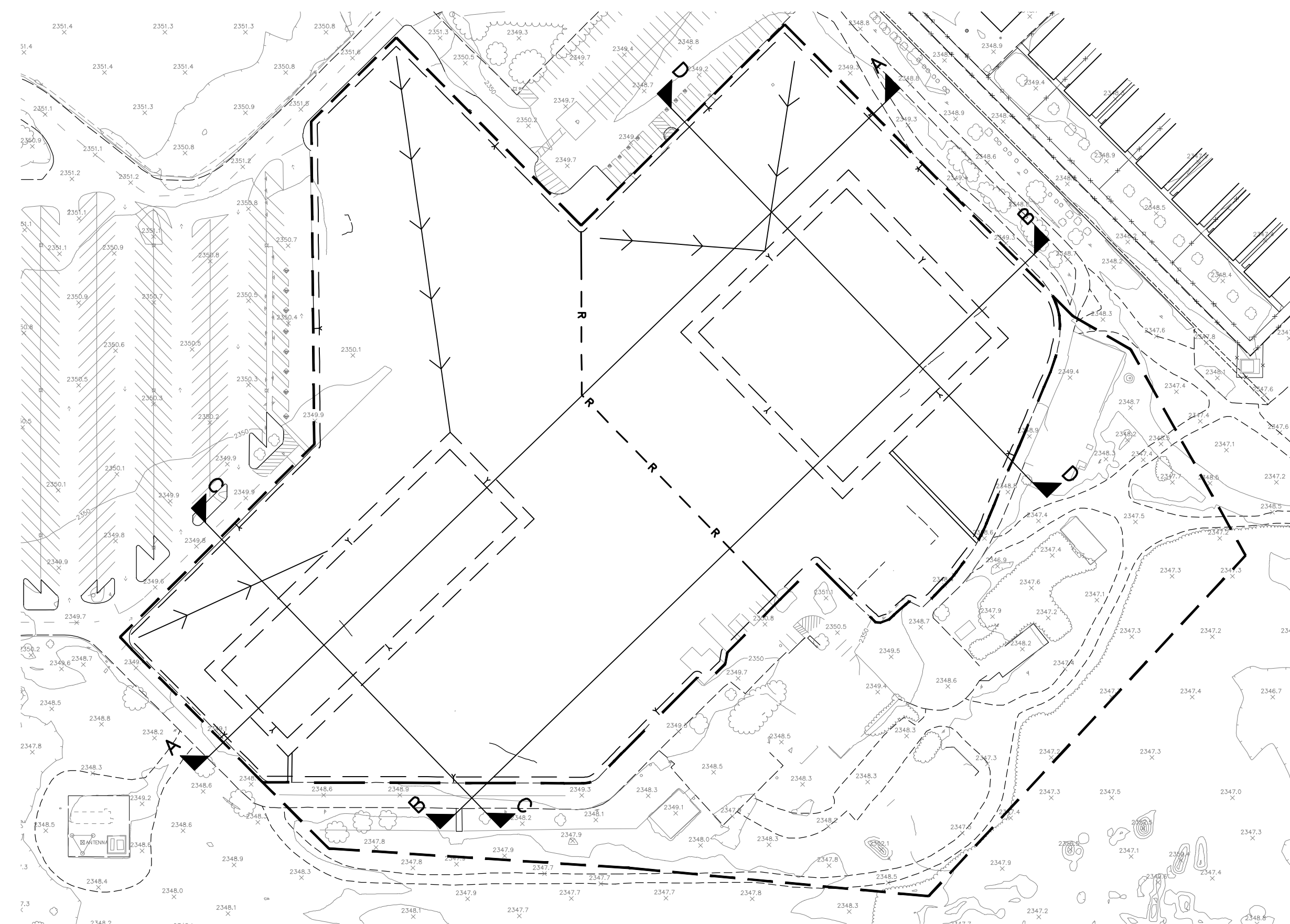
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	BACK CHECK (BLDG ONLY)	1/10/2022
	BACK CHECK 2	8/7/2022

PROJECT DATA	DATE	REVISION
ENGINEER	BK	07-23-21
CHECKED BY	BK	
DRAWN BY	JJ	
PROJECT NO.	499-012	

SHEET TITLE
SECTIONS

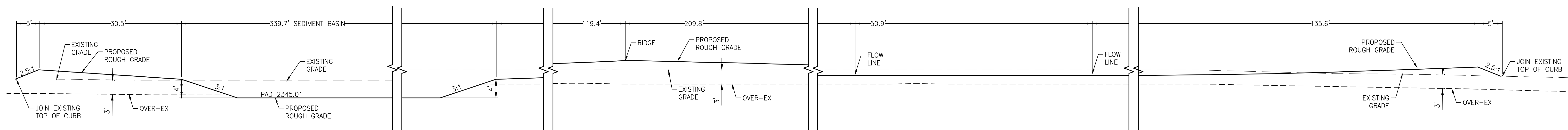
SHEET NO.

C5.00



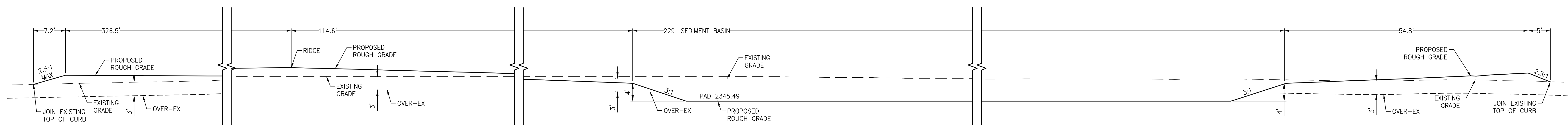
INDEX MAP

SCALE: 1"=100'



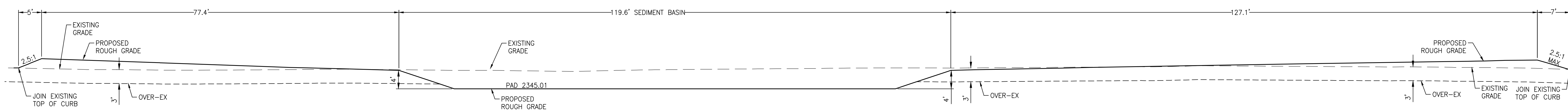
SECTION 'A'

HORIZONTAL/VERTICAL SCALE: 1"=10'



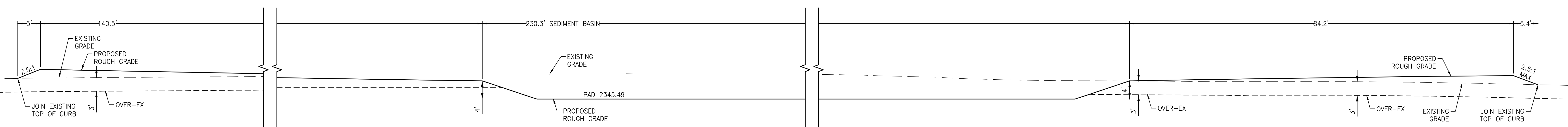
SECTION 'B'

HORIZONTAL/VERTICAL SCALE: 1"=10'



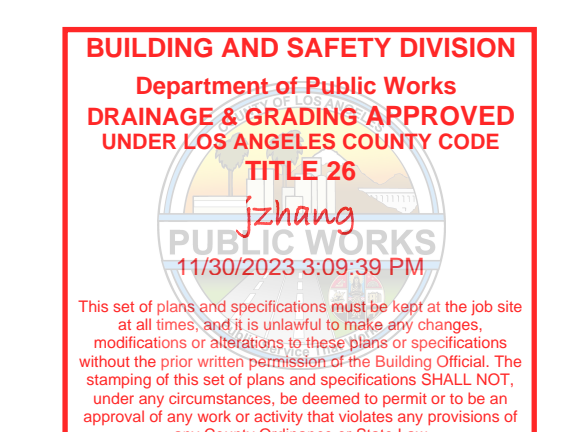
SECTION 'C'

HORIZONTAL/VERTICAL SCALE: 1"=10'



SECTION 'D'

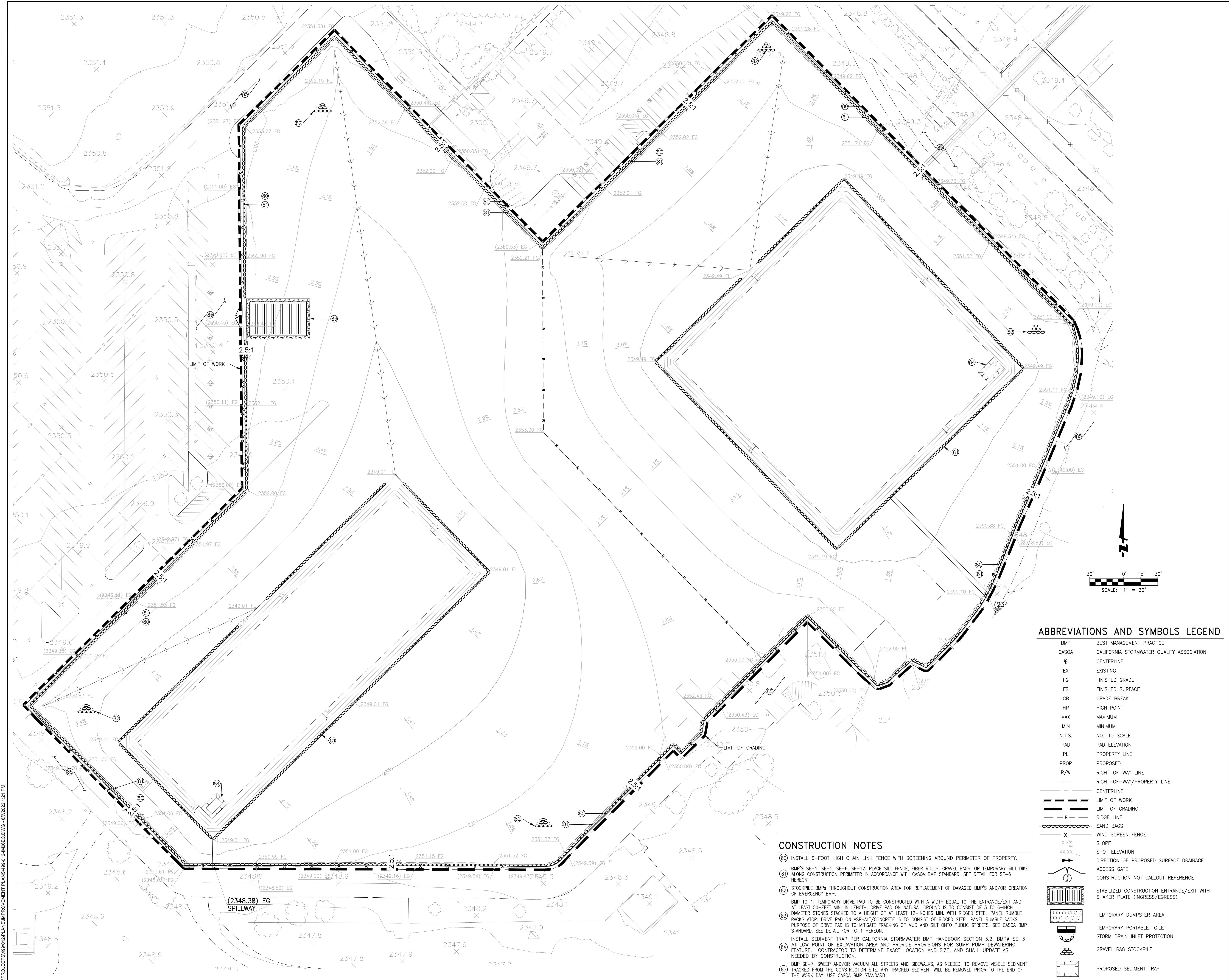
HORIZONTAL/VERTICAL SCALE: 1"=10'



AGENCY NUMBER	ISSUE/REVISION	DATE
	PLAN CHECK	12/3/2021
	BACK CHECK (BLDG ONLY)	1/10/2022
	BACK CHECK 2	8/7/2022

PROJECT DATA	DATE	07-23-21
ENGINEER	BK	
CHECKED BY	BK	
DRAWN BY	JJ	
PROJECT NO.	499-012	

SHEET TITLE	SHEET NO.
EROSION CONTROL PLAN	C6.00



ABBREVIATIONS AND SYMBOLS LEGEND

BMP	BEST MANAGEMENT PRACTICE
CASQA	CALIFORNIA STORMWATER QUALITY ASSOCIATION
CL	CENTERLINE
EX	EXISTING
FG	FINISHED GRADE
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
MAX	MAXIMUM
MIN	MINIMUM
N.T.S.	NOT TO SCALE
PAD	PAD ELEVATION
PL	PROPERTY LINE
PROP	PROPOSED
R/W	RIGHT-OF-WAY LINE
---	RIGHT-OF-WAY/PROPERTY LINE
---	CENTERLINE
---	LIMIT OF WORK
---	LIMIT OF GRADING
---	RIDGE LINE
---	SAND BAGS
X	WIND SCREEN FENCE
X.XX	SLOPE
XX.XX	SPOT ELEVATION
---	DIRECTION OF PROPOSED SURFACE DRAINAGE
---	ACCESS GATE
---	CONSTRUCTION NOT CALLOUT REFERENCE
---	STABILIZED CONSTRUCTION ENTRANCE/EXIT WITH SHAKER PLATE (INGRESS/EGRESS)
---	TEMPORARY DUMPSTER AREA
---	TEMPORARY PORTABLE TOILET
---	STORM DRAIN INLET PROTECTION
---	GRAVEL BAG STOCKPILE
---	PROPOSED SEDIMENT TRAP

CONSTRUCTION NOTES

- (80) INSTALL 6-FOOT HIGH CHAIN LINK FENCE WITH SCREENING AROUND PERIMETER OF PROPERTY.
- (81) BMP# SE-1, SE-5, SE-6, SE-12: PLACE SILT FENCE, FIBER ROLLS, GRAVEL BAGS, OR TEMPORARY SILT DIKE ALONG CONSTRUCTION PERIMETER IN ACCORDANCE WITH CASQA BMP STANDARD. SEE DETAIL FOR SE-6 HEREON.
- (82) STOCKPILE BMP#S THROUGHOUT CONSTRUCTION AREA FOR REPLACEMENT OF DAMAGED BMP#S AND/OR CREATION OF EMERGENCY BMP#S.
- (83) BMP# TC-1: TEMPORARY DRIVE PAD TO BE CONSTRUCTED WITH A WIDTH EQUAL TO THE ENTRANCE/EXIT AND AT LEAST 50- FEET MIN. IN LENGTH. DRIVE PAD ON NATURAL GROUND IS TO CONSIST OF 3 TO 6-INCH DIAMETER STONES STACKED TO A HEIGHT OF AT LEAST 12-INCHES MIN. WITH RIDGED STEEL PANEL RUMBLE RACKS ATOP. DRIVE PAD ON ASPHALT/CONCRETE IS TO CONSIST OF RIDGED STEEL PANEL RUMBLE RACKS. PURPOSE OF DRIVE PAD IS TO MITIGATE TRACKING OF MUD AND SILT ONTO PUBLIC STREETS. SEE CASQA BMP STANDARD. SEE DETAIL FOR TC-1 HEREON.
- (84) INSTALL SEDIMENT TRAP PER CALIFORNIA STORMWATER BMP HANDBOOK SECTION 3.2. BMP# SE-3 AT LOW POINT OF EXCAVATION AREA AND PROVIDE PROVISIONS FOR SLUMP PUMP DENATURING FEATURE. CONTRACTOR TO DETERMINE EXACT LOCATION AND SIZE, AND SHALL UPDATE AS NEEDED BY CONSTRUCTION.
- (85) BMP# SE-7: SWEEP AND/OR VACUUM ALL STREETS AND SIDEWALKS, AS NEEDED, TO REMOVE VISIBLE SEDIMENT TRACKED FROM THE CONSTRUCTION SITE. ANY TRACKED SEDIMENT WILL BE REMOVED PRIOR TO THE END OF THE WORK DAY. USE CASQA BMP STANDARD.

EROSION AND SEDIMENT CONTROL PLAN (ESCP) GENERAL NOTES:

- IN CASE OF EMERGENCY, CALL GUS BITAR AT 562-673-3798. PLEASE FILL IN NAME AND NUMBER.
- TOTAL DISTURBED AREA 9.89 ACRES. WOOD # 1. RISK LEVEL 1 2 3 (CIRCLE ONE AS DETERMINED BY STATE GENERAL PERMIT FOR SITES GREATER THAN 1 ACRE).
- A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN OCTOBER 15 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
- EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
- TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- AS THE ENGINEER/QSD OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS.

[Signature]
 10.17.2023
 CIVIL ENGINEER/QSD SIGNATURE DATE

21. THE FOLLOWING NOTES MUST BE ON THE PLAN:
 AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ENSURE THAT A QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE ESCP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE ESCP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW.

[Signature]
 10.17.2023
 OWNER OR AUTHORIZED REPRESENTATIVE (PERMITEE) DATE

22. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY AS REQUIRED BY THE STATE CONSTRUCTION GENERAL PERMIT. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.

23. THE FOLLOWING BMPs FROM THE "CASQA CONSTRUCTION BMP ONLINE HANDBOOK" MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. AS AN ALTERNATIVE, DETAILS FROM "CALTRANS STORMWATER QUALITY HANDBOOKS, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) MANUAL" MAY BE USED. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.

- EROSION CONTROL**
- EC1 - SCHEDULING
 - EC2 - PRESERVATION OF EXISTING VEGETATION
 - EC3 - HYDRAULIC MULCH
 - EC4 - HYDROSEEDING
 - EC5 - SOIL BINDERS
 - EC6 - STRAW MULCH
 - EC7 - GEOTEXTILES & MATS
 - EC8 - WOOD MULCHING
 - EC9 - EARTH DIKES AND DRAINAGE SWALES
 - EC10 - VELOCITY DISSIPATION DEVICES
 - EC11 - SLOPE DRAINS
 - EC12 - STREAMBANK STABILIZATION
 - EC13 - RESERVED
 - EC14 - COMPOST BLANKETS
 - EC15 - SOIL PREPARATION/ROUGHENING
 - EC16 - NON-VEGETATED STABILIZATION

- TEMPORARY SEDIMENT CONTROL**
- SE1 - SILT FENCE
 - SE2 - SEDIMENT BASIN SE3 - SEDIMENT TRAP SE4 - CHECK DAM
 - SE5 - FIBER ROLLS
 - SE6 - GRAVEL BAG BERM
 - SE7 - STREET SWEEPING AND VACUUMING
 - SE8 - SANDBAG BARRIER
 - SE9 - STRAW BALE BARRIER
 - SE10 - STORM DRAIN INLET PROTECTION
 - SE11 - ACTIVE TREATMENT SYSTEMS
 - SE12 - TEMPORARY SILT DIKE
 - SE13 - COMPOST SOCKS & BERMS
 - SE14 - BIOFILTER BAGS

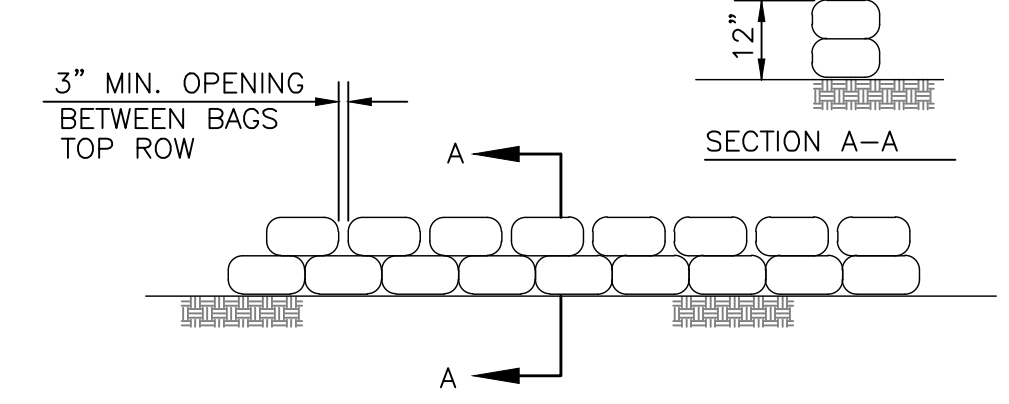
- WIND EROSION CONTROL**
- WE1 - WIND EROSION CONTROL
- TEMPORARY TRACKING CONTROL**
- TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT
 - TC2 - STABILIZED CONSTRUCTION ROADWAY
 - TC3 - ENTRANCE/OUTLET TIRE WASH

- NON-STORMWATER MANAGEMENT**
- NS1 - WATER CONSERVATION PRACTICES
 - NS2 - DEWATERING OPERATIONS
 - NS3 - PAVING AND GRINDING OPERATIONS
 - NS4 - TEMPORARY STREAM CROSSING NSS - CLEAR WATER DIVERSION
 - NS6 - ILLICIT CONNECTION/DISCHARGE
 - NS7 - POTABLE WATER/IRRIGATION
 - NS8 - VEHICLE AND EQUIPMENT CLEANING
 - NS9 - VEHICLE AND EQUIPMENT FUELING
 - NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
 - NS11 - FLEET DRIVING OPERATIONS
 - NS12 - CONCRETE CURING
 - NS13 - CONCRETE FINISHING
 - NS14 - MATERIAL AND EQUIPMENT USE
 - NS15 - DEMOLITION ADJACENT TO WATER NS16 - TEMPORARY BATCH PLANTS

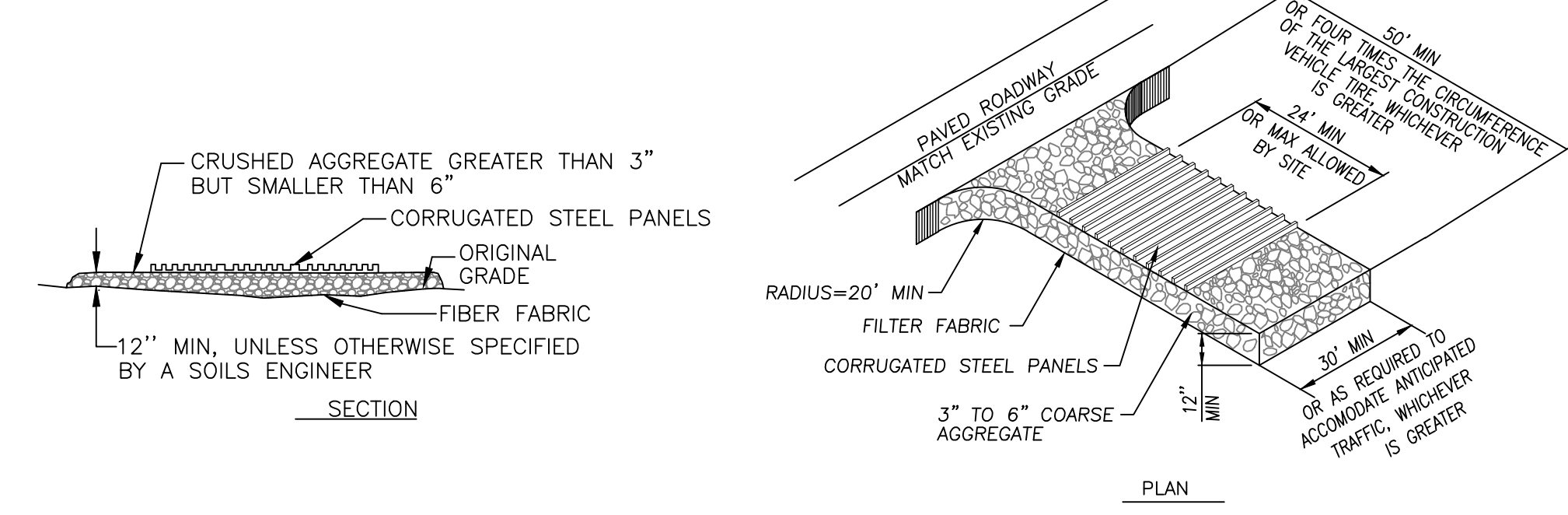
- WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL**
- WM1 - MATERIAL DELIVERY AND STORAGE
 - WM2 - MATERIAL USE
 - WM3 - STOCKPILE MANAGEMENT
 - WM4 - SPILL PREVENTION AND CONTROL
 - WM5 - SOLID WASTE MANAGEMENT
 - WM6 - HAZARDOUS WASTE MANAGEMENT
 - WM7 - CONTAMINATION SOIL MANAGEMENT
 - WM8 - CONCRETE WASTE MANAGEMENT
 - WM9 - SANITARY/SEPTIC WASTE MANAGEMENT WM10 - LIQUID WASTE MANAGEMENT

NOTICE TO CONTACTOR

- BMPs SHOULD BE ADDED, MOVED, OR REMOVED BASED ON SITE CONDITIONS. HAND-MARKED ALTERATIONS WITH INITIALS AND DATE ARE AN ACCEPTABLE FORM OF ALTERATION. THE CONTRACTOR MAY BE ASKED AT ANY TIME TO PRODUCE A WATER POLLUTION CONTROL DRAWING. FAILURE TO KEEP THIS DRAWING CURRENT COULD RESULT IN A NOTICE OF VIOLATION AND/OR FINE.
- STABILIZED CONSTRUCTION ENTRANCE, MATERIAL DELIVERY AND STORAGE AREA, WASTE COLLECTING AREA, AND EQUIPMENT AREA SHALL BE DESIGNATED BY SITE SUPERVISOR OR QSP AND INCLUDED ON THE WATER POLLUTION CONTROL DRAWING/EROSION CONTROL PLAN. AS SITE CONDITIONS CHANGE, THE WATER POLLUTION CONTROL DRAWING/EROSION CONTROL PLAN SHALL BE UPDATED TO REFLECT CURRENT CONDITIONS. REVISIONS SHALL BE INITIALED AND DATED.
- ANY INACTIVE, EXCAVATED, OR OTHER DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR LONGER THAN 10 DAYS SHALL BE STABILIZED WITH HYDROSEED, HYDRAULIC MULCH, PLASTIC SHEETING (I.E. VISQUEEN ANCHORED WITH GRAVEL/SANDBAGS), OR EQUIVALENT EROSION CONTROL BMP. TEMPORARY SOIL STABILIZATION MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION CAN BE ESTABLISHED.
- AN UPDATED EROSION AND SEDIMENT CONTROL PLAN (ESCP) MUST BE REVISED AND APPROVED PRIOR TO EACH RAINY SEASON THROUGH THE SITE GRADING OPERATIONS.
- THE GRAVEL BAGS ARE SHOWN FOR REFERENCE ONLY. THE SITE SHALL HAVE PERIMETER SEDIMENT CONTROL AT ALL TIMES.



TYPICAL GRAVELBAG
 N.T.S.



CONSTRUCTION ENTRANCE
 N.T.S.

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 pasadena, ca 91103
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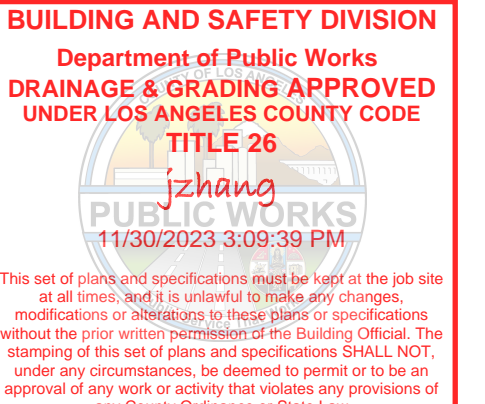


COUNTY OF
 LOS ANGELES

HIGH DESERT
 HOSPITAL
 SITE CLEARANCE

44900 NORTH 60TH ST, WEST
 LANCASTER, CA 93536

AGENCY STAMP



AGENCY NUMBER _____

ISSUE/REVISION _____

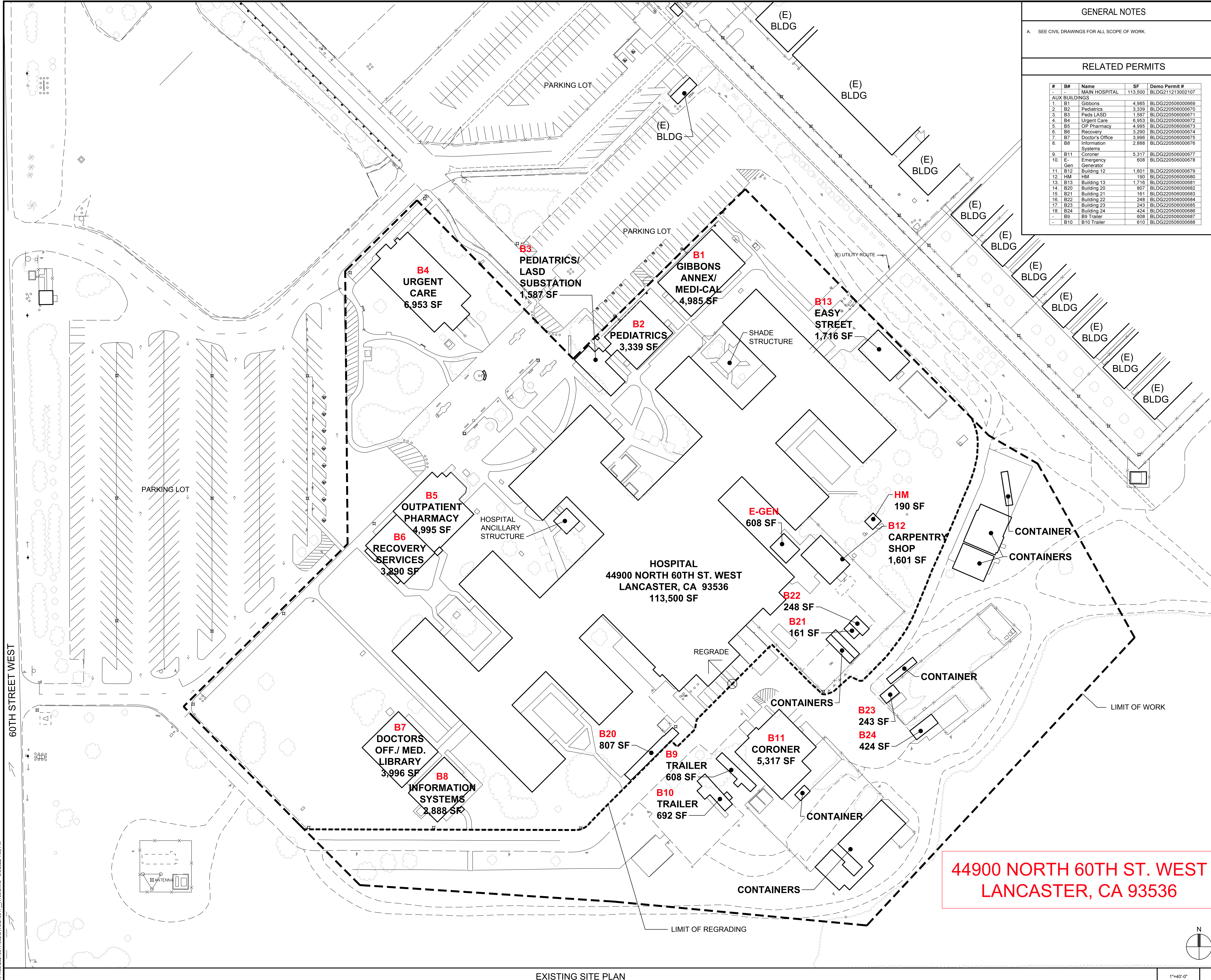
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BACK CHECK 2	8/7/2022

PROJECT DATA

DATE	07-23-21
ENGINEER	BK
CHECKED BY	BK
DRAWN BY	JJ
PROJECT NO.	499-012

SHEET TITLE **EROSION CONTROL PLAN**

SHEET NO. **C6.01**

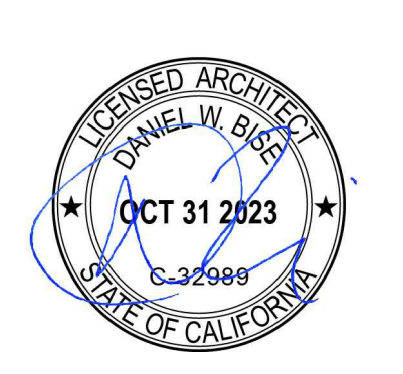


GENERAL NOTES

A. SEE CIVIL DRAWINGS FOR ALL SCOPE OF WORK.

RELATED PERMITS

#	B#	Name	SF	Demo Permit #
-	-	MAIN HOSPITAL	113,500	BLDG211213002107
AUX BUILDINGS				
1.	B1	Gibbons	4,985	BLDG22050600689
2.	B2	Pediatrics	3,339	BLDG22050600670
3.	B3	Peds LASD	1,587	BLDG22050600671
4.	B4	Urgent Care	6,953	BLDG22050600672
5.	B5	OP Pharmacy	4,995	BLDG22050600673
6.	B6	Recovery	3,290	BLDG22050600674
7.	B7	Doctor's Office	3,996	BLDG22050600675
8.	B8	Information Systems	2,888	BLDG22050600676
9.	B11	Coroner	5,317	BLDG22050600677
10.	E	Emergency Generator	608	BLDG22050600678
11.	B12	Building 12	1,601	BLDG22050600679
12.	HM	HM	190	BLDG22050600680
13.	B13	Building 13	1,716	BLDG22050600681
14.	B20	Building 20	807	BLDG22050600682
15.	B21	Building 21	161	BLDG22050600683
16.	B22	Building 22	248	BLDG22050600684
17.	B23	Building 23	243	BLDG22050600685
18.	B24	Building 24	424	BLDG22050600686
-	B9	B9 Trailer	608	BLDG22050600687
-	B10	B10 Trailer	610	BLDG22050600688



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COUNTY OF
LOS ANGELES

HIGH DESERT
HOSPITAL
SITE CLEARANCE
BUILDING SUBMITTAL

44900 NORTH 60TH ST. WEST
LANCASTER, CA 93536

AGENCY STAMP

AGENCY NUMBER	BLDG211213002107
ISSUE/REVISION	
PLAN CHECK	12/03/2021
BACK CHECK (BLDG ONLY)	1/10/2022
BACK CHECK 2	8/7/2022

PROJECT DATA	
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ARCHITECT	DB
CHECKED BY	DB
DRAWN BY	BW
PROJECT NO.	20210017

SHEET TITLE
EXISTING SITE PLAN

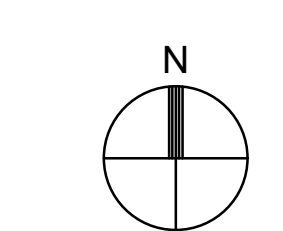
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60TH STREET WEST

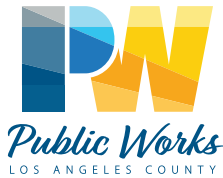
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EXISTING SITE PLAN



1"=40'-0" 1

**44900 NORTH 60TH ST. WEST
LANCASTER, CA 93536**



**County of Los Angeles - Department of Public Works
Building and Safety/Land Development Division**

**GRADING REVIEW SHEET
(2020 Los Angeles County Building Code, Residential Code,
and Green Building Standards Code)**

5300 W Avenue I			GRAD 211213000554
SITE ADDRESS	TRACT/PM NO.	DISTRICT NO.	GRADING PERMIT APPLICATION NO.
		()	
DESIGN ENGINEER/APPLICANT		TELEPHONE NO.	
		()	
OWNER		TELEPHONE NO.	
62,001cy		R. Taccone/ Jason Zhang	12/13/22
EARTHWORK VOLUME	DISTURBED AREA	CHECKER	PLAN CHECK EXPIRES

ENGINEERED GRADING PROJECT DESCRIPTION Grading for Demolition of (E) Buildings
 REGULAR GRADING

INSTRUCTIONS TO BUILDING AND SAFETY DISTRICT OFFICE PRIOR TO ISSUANCE OF GRADING PERMIT

1. Post a Grading Permit Security of \$ _____. Based on _____ C.Y. and drainage facilities at a cost estimate of \$ _____. See enclosed "Fee and Bond Amount Worksheet". (Section J103.7.3 of the County of Los Angeles Building Code)
2. A supplemental plan check fee of is required due to additional earthwork volumes of _____ (cy) not included in original grading application and/or _____ (hrs) due to additional plan review beyond the initial and second plan check. (Section 107 of the County of Los Angeles Building Code)
3. A site inspection fee is required for this project. (Section 107 of the County of Los Angeles Building Code)
4. The grading permit shall be based on a volume of **62,001** cubic yards of earthwork. Total grading volume is based on the larger of the cut or fill plus any over excavation volumes and alluvial removals.
5. This Grading Permit requires a Licensed Contractor. (See AM 30.04)
6. Provide an approved copy of the Erosion and Sediment Control Plan for grading activities during rainy season (October 15 - April 15).
7. The site is located within the California Coastal Zone. The Coastal Development Permit issued for this project site is CDP _____.
8. Verify that the applicant has submitted the acknowledgment and acceptance forms concerning the employment of a Field Engineer and of Project Consultants with signatures of the owner and all consultants. See documents "A" & "B".
9. Place a "Notice of Uncertified Fill" in the project address file identifying on-site uncertified fills. Refer to the enclosed plot plan identifying limits and depth of uncertified fills on this site.
10. These plans have standard retaining walls, foundation walls, and/or temporary shoring, which require a separate building permit. The grading permit should not be issued until building permits have been obtained.
11. The appropriate City Engineer/Planning Director must approve the grading plan prior to issuance of the grading permit.
12. A landscape permit is required for this project. Permit Technician shall place the following hold on the property in DAPTS: "A Landscape Permit is required prior to issuance of any Building Permit. Landscape Permit requires applicant to submit a signed acknowledgment form from the water purveyor."
13. A permit from Land Development Division or CALTRANS is required for any proposed work within County (or CALTRANS) maintained road right-of-way or Flood Control right-of-way.
14. Project is located in a Very High Fire Hazard Severity Zone. A permit/approval is required to comply with spark arrester requirements for construction equipment. (Section 326.12.1 of Los Angeles County Fire Code)
15. For Grading Projects in Rolling Hills: Grading permits shall not be issued unless the building plans corresponding to the proposed grading have been submitted for plan check. (City Requirement)

ONCE YOUR GRADING PLAN HAS BEEN APPROVED COPIES WILL BE SENT TO THE LOCAL BUILDING AND SAFETY DISTRICT OFFICE FOR ISSUANCE OF A GRADING PERMIT. COPIES OF THE APPROVED GRADING PLAN WILL BE PROVIDED TO YOU WHEN THE GRADING PERMIT IS ISSUED BY THE LOCAL BUILDING AND SAFETY DISTRICT OFFICE.

NOTE: UPON RECEIVING THE GRADING FILE AND APPROVED PLANS THE BUILDING AND SAFETY DISTRICT OFFICE MAY REQUIRE UP TO 16 BUSINESS HOURS TO PROCESS AND ISSUE THE GRADING PERMIT.

BUILDING AND SAFETY DIVISION

APPROVAL STAMP AREA

DRAINAGE & GRADING APPROVED

UNDER LOS ANGELES COUNTY CODE

TITLE 26

jzhang

PUBLIC WORKS

11/30/2023 3:14:08 PM

This set of plans and specifications must be kept at the job site at all times, and it is unlawful to make any changes, modifications or alterations to these plans or specifications without the prior written permission of the Building Official. The stamping of this set of plans and specifications SHALL NOT, under any circumstances, be deemed to permit or to be an approval of any work or activity that violates any provisions of any County Ordinance or State Law

(DO NOT WRITE IN THIS AREA)

AGENCY APPROVALS

COUNTY OF LOS ANGELES DEPARTMENT OF REGIONAL PLANNING

Department of Regional Planning, 320 W. Temple, Hall of Records, Los Angeles CA 90012 (213) 974-6411

- RT 1. Approval from the Department of Regional Planning (DRP) is required to verify grading and proposed land use is in conformance with Title 21 (Subdivision Code) and Title 22 (Zoning Code). Provide a copy of all approved documents, e.g. Plot Plan, Conditional Use Permit, Conditions, Oak tree permit, etc... with your grading plan submittal (J103.6)

exemption email per DRP 5/4/22

The following items may require approval as determined by DRP:

- Site may be located in or near a Hillside Management Area or Significant Ecological Area.
- Project may qualify as a "Solid Fill Project". (Title 22, Section 22.18.030).
- Project may qualify as an "Offsite Transport Grading Project". The volume of earthwork imported or exported from or to the site exceeds 10,000 cubic yards. (Title 22, Section 22.14.070) An approved haul route for transport may be required.
- Project may qualify as an "Onsite Transport Grading Project". Project cumulative earthwork volumes exceed 100,000 (cut and fill volumes added). (Title 22, Section 22.14.070).
- Project may be located within the _____ Community Standards District. (Title 22, Section 22.44)
- Project encroaches within protected zone of an oak tree. (Title 22, Section 22.46.2100) A copy of the Oak Tree Permit and Report must be provided. See Item # 41g for additional requirements.
- "Certificate of Compliance" may be required to verify property is a legally subdivided lot. (Title 21, Section 21.60.025)
- Conformance with the provisions of the California Environmental Quality Act (CEQA) may be required. An "Initial Study Questionnaire" may be needed to determine if the project is subject to the provisions of CEQA.
- Proposed project appears to vary from approved Tentative Conditions, Community Standards District, or Conditional Use Permit due to the following: _____

GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION (GMED, GEOLOGY AND SOILS SECTION)

Geology and Soils Section, 900 S. Fremont Ave, Alhambra - 3RD Floor, CA 91803 (626) 458-4925

- 2. A recent (one year or less) soils engineering and/or geology investigation report may be required. The reports shall provide information on the nature, distribution, physical and engineering properties of the soils onsite and/or soils to be used as fill, and include recommendations on grading procedures. Provide copies of the original soils engineering and/or geologic reports and all supplemental/addendum reports for the grading files. The reports must comply with the provisions of the "Manual for Preparation of Geotechnical Reports" which is available at <http://dpw.lacounty.gov/gmed/Manual.pdf>.
- 3. The soils engineering and geological reports and plans must be reviewed and approved by the Geology and Soils Section prior to approval of the grading plans. All recommendations and notes as indicated in the soils engineering and/or geologic review sheets must be added to the grading plans. Please see attached referral form for instructions.

LAND DEVELOPMENT DIVISION (HYDROLOGY UNIT)

Hydrology Section, 900 S. Fremont Ave, Alhambra - 3RD Floor, CA 91803 (626) 458-4921

- 4. A detailed hydrology study is required for the project and must be processed, submitted and approved by Land Development Division prior to resubmittal of the grading plan. A detailed hydrology study for your site is required due to the following:
 - The project onsite drainage is greater than 10 acres.
 - The project location has significant contributory off-site drainage which impacts structures or proposed drainage devices.
 - The project requires detention of flows and routing analysis.
 - Existing drains in the project area do not have adequate capacity, or the project is located in an area with known drainage deficiencies.

Hydrology Studies processed by Land Development must be prepared by a California Registered Civil Engineer. A minimum of three maps and supporting analysis must be submitted for processing. Fees and additional information on requirements for hydrology studies can be obtained from Land Development Division at (626) 458-4921.

DEPARTMENT OF FISH AND WILDLIFE

California Department of Fish and Wildlife, 3883 Ruffin Road, San Diego, CA 92123 (858) 636-3160

- 5. Work within or near the watercourse (streambed) requires approval from the California Department of Fish and Wildlife. Prior to grading plan approval, a copy of the Streambed Alteration Permit and conditions of approval from the California Department of Fish and Wildlife must be submitted for reference. (Sections 1600 to 1616 of the California Fish and Game Code). When proposed grading does not require a Streambed Alteration Agreement, a letter from Fish & Wildlife indicating they have no requirements must be provided.

U.S. ARMY CORPS OF ENGINEERS

Department of the Army, Los Angeles District, Corps of Engineers, 911 Wilshire Blvd, Los Angeles, CA 90017 (213) 452- 3412.

- 6. Work within or near the watercourse (streambed) requires approval from the U.S. Army Corps of Engineers. Submit a copy of the 404 Permit for proposed work within the streambed(s). Any condition in the permit, which impacts project grading or construction should be detailed and noted on the plans. This includes all restricted areas, special requirements, and planting as applicable. Prior to approval a copy of the permit must be provided for reference.

CALIFORNIA COASTAL COMMISSION

South Central Coast Area - (West of City of Los Angeles): California Coastal Commission, 89 S. California St., Ventura, CA 93001, (805) 585-1800

South Coast Area - (All areas south east of City of Los Angeles Boundary): California Coastal Commission, 200. Ocean Gate, 10th Floor, Long Beach, CA 90802, (562) 590-5071

7. Site is (may be) located within the Coastal Zone as determined by the California Coastal Act. Obtain approval from the Department of Regional Planning.
8. Work within the Coastal Zone requires a "Coastal Development Permit" (CDP). Obtain and submit a copy of the CDP from the California Coastal Commission for the proposed site work. All conditions of the CDP must be incorporated into the project grading plans as applicable.

STATE DEPARTMENT OF CONSERVATION

California Geologic Energy Management Division (CalGEM, formerly DOGGR) - Southern District: 3780 Kilroy Airport Way, Suite 400, Long Beach, CA 90806, (562) 637-4400

9. Project construction encroaches or may impact an existing oil or gas well. Show status and physical location of wells determined by a recent survey. See # 21 of this review sheet for additional requirements.
10. Obtain and provide CalGEM approval for abandonment of all gas and oil wells impacted by proposed project construction, prior to grading permit issuance.

Department of Conservation Division of Mine Reclamation: 801 K Street, MS 09-06 Sacramento, CA 95814-3529, (916) 323-9198

11. Project construction encroaches or may impact an existing mine. Prior to grading plan approval, provide/obtain Department of Conservation, Division of Mine Reclamation approval for all mines impacted by proposed project construction.

COUNTY OF LOS ANGELES FIRE DEPARTMENT

12. Fire Department Access is required for access to all proposed structures. Grading plans must reflect proposed access:
 - For single family residences where the topography is relatively flat, and access is less than 150 feet in length, a statement signed by the owner or Registered Civil Engineer (see Attachment) is required verifying that the Owner/Engineer is aware of Fire Department access road requirements. Access requirements will be reviewed and approved by Fire Department prior to issuance of building permits.
 - For Commercial Developments or Single-Family Residences where access is difficult due to topography or natural drainage courses, Fire Department approval of site plan is required **prior** to grading plan approval. Provide copy of approved site plan. (Stamped by Fire Department)
 - Due to water distribution limitations for projects located within LA County Water District no. 29 and its sphere of influence, prior to grading approval applicants must obtain either 1) a will serve letter from District 29 or 2) a letter of approval from the Fire Department for alternate means other than the public water system to satisfy fire flow requirements in the event District 29 indicates it is unable to serve the property.
 - Submit for Fire Flow requirements at 26600 Agoura Rd. #110, Calabasas, CA 91302 (310) 317-1351 M-Th 8:00 am – 12:00pm.
 - Will serve information, flow test, and additional information and requirements may be obtained from Water District 29. 23533 W. Civic Center Way, Malibu, CA 90265, (310) 456-6621.
13. The project is located in Very High Fire Hazard Severity Zone and must comply with the following requirements:
 - A permit/approval is required to comply with spark arrester requirements for construction equipment. (Section 326.12.1 of Los Angeles County Fire Code).

REGIONAL WATER QUALITY CONTROL BOARD

Los Angeles Regional Water Quality Control Board, 320 W. 4th St., Ste 200, Los Angeles, CA 90013 (213) 576-6600

14. Proposed grading requires de-watering operation for the discharge of non-storm related flows. Approval from the Regional Water Quality Control Board is required prior to grading approval.

AIR QUALITY MANAGEMENT DISTRICT

For jurisdiction determination, please visit <http://www2.aqmd.gov/webappl/qisagi2/VEMap3D.aspx>

South Coast Air Quality Management District, 21865 E. Copley Drive, Diamond Bar, CA 91765 (909) 396-2000

15. Projects with 50 acres of disturbed area or 5,000 cubic yards or more of grading **that occurs at least 3 times during a 365 day period is considered a large operation** and are required to comply with Rule 403 (e). A Large Operation Notification (Form 403 N) and Dust Control Plan shall be submitted to the South Coast Air Quality Management District. Prior to grading plan approval, an approval letter shall be submitted to Building and Safety. This excludes agricultural use, emergencies, and utilities.

16. Projects that meet either of the following requirements must submit a Dust Control Plan to the Antelope Valley Air Quality Management District in accordance with AV-AWMD Rule 403. The Dust Control Plan approval letter must be submitted to the local Building and Safety office prior to issuance of a grading permit.
- Residential Development with a disturbed area of 10 acres or greater or a Commercial Development with a disturbed area of 5 acres or greater.
 - Any project that has 7,500 cubic yards of grading or more. This excludes agricultural use, emergencies, utilities, and residential properties with a disturbed area of less than half an acre.

**COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS ENVIRONMENTAL PROGRAMS DIVISION
Environmental Programs Division, 900 S. Fremont Ave - Annex Building 3rd Floor, Alhambra, CA 91803
(626) 458-3517**

17. A Recycling and Reuse Plan from Environmental Programs Division is required for *all* grading permits in the unincorporated area of the County of Los Angeles in accordance with the Construction and Demolition (C&D) Debris Recycling and Reuse Ordinance (Ch 20.87 of the Los Angeles County Code). Applications can be obtained online at www.888cleanla.com and are available at the local Building and Safety Office or directly from Environmental Programs Division. Applications can be submitted by hand, by mail (see address, above) or by fax: (626) 458-3593. Proof of approval is required prior to grading plan approval. Applicant should submit copy of EPD approval when resubmitting grading plans.
18. Project is located within 1,000 feet of a landfill. Grading and Building permits issued for projects in this area will require approval from the County of Los Angeles Department of Public Works, Environmental Programs Division, Engineering Section. Locations can be checked at <http://dpw.lacounty.gov/epd/swims/OnlineServices/search-methane-hazards-esri.aspx>
- If the project is located within 1,000 feet of a landfill, prior to issuance of a building permit approval from the County of Los Angeles Department of Public Works Environmental Programs Division is required.
19. Plan shows Injection well, clarifier, and/or seepage pit for disposal of industrial waste. Obtain approval from Environmental Programs Division.
20. Project site may have soil that is (may be) potentially contaminated. Prior to grading plan approval, provide/obtain approval from Solid Waste Engineering – Methane Unit. Please contact the Methane Unit at (626) 458-3517.
21. Obtain and provide Solid Waste Engineering – Methane Unit approval for abandonment of all gas and oil wells impacted by proposed project construction, prior to grading plan approval. Please contact the Methane Unit at (626) 458-3517.

**LAND DEVELOPMENT DIVISION
Land Development Division, 900 S. Fremont Ave, Alhambra - 3RD Floor, CA 91803 (626) 458-4921**

22. All non-residential projects require approval from Land Development Division and residential projects that are proposing work within or impacting a county-maintained road right-of-way or easement requires approval from Land Development Division. Submit plans online at <https://epicla.lacounty.gov/SelfService/#/home>. After creating a profile go to Apply, Plans, All, and apply under "Public Improvement Plans: Street Plan" option. Make sure to state in the description that it is a referral from Building and Safety.

Initial reason for referral:

- Road Construction – Driveway Approaches, Sidewalk, Curb and Gutter, Road Grading, etc.
- Road Improvements and/or Easements to be dedicated or reserved for future road improvements.
- Road Excavation within the road right-of-way.
- Private to future road right-of-way.
- Slope easements.
- Other (Please Specify) _____.

NOTE: Approval from Land Development Division required before obtaining a grading permit.

23. Obtain approval from the following agency prior to issuance of the grading permit:
- CALTRANS MAINTAINED ROADS - For permit information call (213) 897-3631.
 - CITY MAINTAINED ROADS AND/OR UTILITY EASEMENTS – Contact the City for permit information and requirements.

24. Add the following note to the plans:
will sign on final set

ENGINEER'S/SURVEYOR'S STATEMENT REGARDING THE PRESENCE OF MONUMENTS WITHIN PROJECT LIMITS	
I HEREBY ATTEST THAT I HAVE LOCATED AND REFERENCED ON THESE PLANS THE MONUMENTS EXISTING PRIOR TO CONSTRUCTION TO ENSURE PERPETUATION OF THEIR LOCATION IN ACCORDANCE WITH SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE. I FURTHER ATTEST THAT I HAVE PERFORMED A RECORD SEARCH AND FIELD INSPECTION TO IDENTIFY EXISTING MONUMENTS; SHALL SET SUFFICIENT CONTROLLING, WITNESS, AND PERMENANT MONUMENTS; AND SHALL FILE THE REQUISITE CORNER RECORD OR RECORD OF SURVEY OF THE REFERENCES WITH THE COUNTY SURVEYOR.	
_____ ENGINEER/SURVEYOR SEAL & SIGNATURE	_____ DATE

25. Any storm drain connections or construction which encroaches within a Los Angeles County Flood Control District easement requires a permit. Approval from Flood Control is required prior to grading plan approval. (Provide copy of plan and approval)
Must obtain Qallowable form from Design Division, Hydraulic Analysis Section, (626) 458-7860, to accurately size onsite system. (Provide copy of approval)

PRIVATE/UTILITY EASEMENT

26. Any proposed work within a Private/Utility Easement or Access Easement requires permission letters and/or covenants from easement holder. Permission from the easement holder may not be required if it can be shown the proposed construction work is consistent and in conformance with the intended easement use. Copies of recorded easements shall be submitted for review. Grading plans must show all bearings, distances, (linear and curve data) for the entire easement(s).
The following note shall be added to the grading plan:

“As Civil Engineer/Land Surveyor of this project, I have identified the location of all easements which are depicted on these plans. I have reviewed the easement documents and verified the proposed construction does not conflict or interfere with the intended easement use.”

Civil Engineer/Land Surveyor (Stamp and Signature)

Date

UTILITIES

- RT27.** Utilities, such as water, electrical, plumbing, mechanical, and sewer shown on grading plans, may require a separate permit. Add note on grading plans/utility plans which labels the utilities are provided for reference only and separate permits may be required.

GRADING DOCUMENTATION

CONTRACT CITY REQUIREMENTS

28. Provide copy of City conditions/resolution, for proposed project. (Conditional Use Permit, Tentative Conditions, plot plan - “Exhibit A” or City Planning Approval) All applicable planning conditions, which affect or impact the proposed project grading or drainage must be incorporated into the project grading plans. Project grading plans can not be approved until it can be verified all City planning conditions (As applicable) are satisfied.
29. Obtain and provide planning approval from City of _____.

GRADING VOLUME, AND BOND DETERMINATION

- 30.** Submit volume calculations (signed and stamped by a registered civil engineer). A supplemental plan check fee will be required for additional volumes not identified on the original grading application.
see corrections
Note: Grading permit application, permit fees, and grading securities (bonds) are based on the larger of the cut and fill volumes plus (+) the amount of over-excavation/alluvial removal and recompaction.

For grading projects where the volume of earthwork handled exceeds 1000 cubic yards, a grading permit security (bond) is required (J103.7). The amount of security required for a grading permit will be provided upon grading plan approval. Grading Bond must be submitted at the Local Building and Safety Office prior to issuance of grading permit. Standard Bond documents are available at <http://www.dpw.lacounty.gov/bsd/publications/index.cfm>. Search for Grading Permit Security document (GPS Security.pdf)

31. Submit a cost estimate of all drainage devices (such as catch basins, drain pipe, inlets and outlets, energy dissipators) constructed per the grading plans that are not to be maintained by the Los Angeles County Flood Control District. (J103.7.3)

OFFSITE WORK

32. Proposed project construction requires offsite work or grading outside the limits of the property line. A grading permit is required for each site. (J103.1) In lieu of separate grading permits for each property, notarized and recorded covenants from the owners of the properties involved may be provided for minor grading as determined by the Building Official.

Any proposed construction that changes or alters the existing drainage pattern to adjacent (off-site) property requires a notarized and recorded offsite drainage release covenant or easement from the owner of adjacent property.

Covenant documents are available at <http://www.dpw.lacounty.gov/bsd/publications/index.cfm>. Search for Offsite Covenants (Offsite Covenants.pdf)

TRACT OR PARCEL MAP GRADING PLANS

33. A copy of the following items must be provided for reference with your grading submittal: (Plans can not be approved until a copy of the conditions has been provided.)
- Approved tentative map & conditions and/or conditional use permit (CUP)
 - A copy of the Final Tract or Parcel Map
 - Approved Hydrology, storm drain plans, street plans, (If submitting revised grading plans a copy of the approved grading plan should be provided).
34. The proposed graded pad elevations and contours do not substantially conform to the approved tentative map. Obtain and submit Regional Planning approval. Department of Regional Planning, 320 W. Temple, Hall of Records, Los Angeles (213) 974-6411

35. All conditions of tentative approval for the subject property must be incorporated on the plans. Plans do not conform due to the following:
- _____
- _____
36. Deed Restrictions for the private maintenance of drainage devices on lots will be required prior to Tract clearance by the Drainage and Grading Unit. Place the following note on the plans "Deed Restrictions are required for Lots _____ for private maintenance of drainage devices.
37. Screen walls specifically required by the conditions of approval for Tracts or Parcel Maps must be shown on, and bonded per grading plans.
38. Show and label on grading plans all dedicated "open space" lots.
39. For subdivision projects, all improvements within street right-of-way or storm drain easement must be labeled "Construct per The Approved Street Plans" or "Construct per the Approved PD No _____"

MISCELLANEOUS DOCUMENTATION

40. Prior to issuance of grading permit by the local Building and Safety District Office, obtain and provide the following:
- a. Submit, with signatures of the owner and all consultants, the acknowledgment forms concerning the employment of a Design/Field Engineers and Project Consultants. See attached copies of consultant forms (Documents "A" and "B") to be submitted at the local Building and Safety Office prior to issuance of the grading permit.
 - b. **see corrections**
The grading application has expired. Plans will not be reviewed until an extension (if eligible) or new plan check fees are paid. (106.4.1)
 - c. Provide an 8½"X11" Plot Plan clearly identifying limits and depths of on-site uncertified fills and label "Notice of Uncertified Fills." This notice will be added to the District Office address folder for the site.
 - d. Obtain Sewer Demolition Permit from building and safety for the existing septic tank or seepage pit to be abandoned.

GENERAL REQUIREMENTS TO BE SHOWN ON THE PLANS

- RT41. The following information is to be included on the Cover Sheet of the grading plans. (J104.2.3)
- RT a. Add all applicable grading notes and completed Grading Project Information to the cover sheet (first sheet) of grading plans, see enclosed grading notes and project information. Cover sheet should have a Title Block for Design Engineer which includes designers name, company, and phone number.
 - b. Provide a vicinity sketch which clearly shows project site location.
 - c. Provide benchmark information and reference all information utilized to determine survey elevations. If multiple benchmarks were utilized, benchmarks should be indicated on all pages as applicable.
 - d. A legend must be provided that identifies existing and proposed contours, cut/fill daylight lines, over-excavation limits, wall location, property lines, right-of-ways, easements, County/City boundaries, utilities, storm drains, etc.
 - e. Provide an index map that clearly identifies project boundaries and page locations of proposed grading.
42. The following general information or details must be included on the grading plans. (J104.2.3)
- a. Prior to grading plan approval, all sheets of grading plans and calculations must be "wet" stamped and signed by a California Registered Civil Engineer, Soils Engineer, and Geologist.
 - b. Boundary lines, tract boundaries, lot lines, county/city boundaries, road right-of-way lines, and easements must be identified and labeled on plans.
 - c. Show existing contours of entire site. Clarify between original (natural) and proposed contours. All existing grading must be permitted and meet current Code requirements.
 - d. North arrow and scale of plans. Plan scale shall be 1"≤40'.
 - e. Clearly indicate location of any existing or proposed structures on the site and any structures on adjacent land within 15 feet of the property line.
 - f. Show location of existing and/or proposed septic tanks, pits, and leach fields.
 - g. Show location, specify trunk diameter and tree number, show and label canopy (dripline) and protected zone of all oak trees on grading plans. All work which impacts an oak tree must be per an approved Oak Tree Permit. The following must be shown on the grading plans:
 - Show actual drip line (canopy)
 - Show protected zone (5 feet beyond canopy)
 - Label Oak Tree number and diameter.
 - Label all trees to be removed or which encroachment is allowed per the approved Oak Tree permit and report.
 - All recommendations and conditions included in the approved Oak Tree Permit and report shall be complied with. The following is required on the plans: _____
 - h. Show legal and physical access from subject lot(s) to a publicly maintained street. (Note: Details of access are not required on the grading plans, if separate street plans are being processed through Land Development Division) If access to subject lot extends through adjacent lot(s), provide the following information:
 - Show all access easements information on plans including easement bearings, distances, curve data and easement description.

- Provide a list of all existing onsite easements document numbers and recording dates.
- i. Show location, width, slope of access road, and Fire Department turn-around. In areas where access is difficult due to the topography, Fire Department approval is required prior to grading approval and will be indicated below.
- RT** 43. The following Geotechnical/Geological information or details must be included on grading plans. (J104.3)
- a. Show subdrains under all fills to be placed in natural drainage courses unless the soils engineer specifically recommends the omission of such drains. (J107.2) Provide a detail of subdrain construction and materials as recommended by the soils engineer. The outlet should be embedded in concrete for its protection. Details and location of the outlet must be shown on plans.
 - b. Fill placed over existing terrain steeper than 5:1 gradient and fill exceeding 5 feet in depth must be properly keyed and benched into bedrock or other competent material. Provide a keying and benching detail with all dimensions as determined by a Soils Engineer. (J107.3)
 - c. Combination fill-over-cut slopes cannot be approved unless specifically recommended by the soils engineer and geologist. Provide a cross-sectional detail of each slope as shown on the plan.
 - d. Show location and cross-sectional detail of all buttress fills, stabilization fills, blanket fills (seals), shear keys, and/or other similar protective measures recommended by the project geologist or soils engineer. Plan view should clearly identify limits and location of all keyways and other protective measures.
 - e. No oversized material is to be placed into proposed fills unless specifically recommended and inspected by a Soils Engineer and approved by the Building Official. If recommended by the Soils Engineer, indicate the location of rock disposal area(s). Include the elevations, extent, compaction methods, and cross-sections. As-graded plans must show the exact location and elevation of rock disposal area(s).
- RT** Outline the proposed area to be over-excavated and recompacted in the plan view and show the depths clearly in either plan or a profile view as recommended by the soils engineering and/or geological report. This includes alluvium and colluvium removals. **see soils report for recommendations**
- g. Show location of cut-fill contact (daylight line) using special lines and indicate cut and fill side of line.
44. All graded slopes shall be shown on the plans as follows:
- a. Define slopes by finished/proposed contour lines.
 - b. Specify proposed slope angle ratio of all cut and fill slopes (use ratio of horizontal to vertical distance).
 - c. Label proposed slopes as "cut" or "fill."
 - d. Indicate proposed cut and/or fill slope areas on plan by shading.
 - e. Show and label slope setbacks from top and/or toe of both existing and proposed slopes to property lines or building locations. Setbacks must conform to minimum requirements of LACBC Sections J108 and 1808.7, and LACRC Section R403.1.7. Encroaching into the setback from a property line will require a notarized and recorded onsite covenant from adjacent property owner accepting the encroachment.
 - f. For slopes with a surface gradient steeper than 2:1, the Geotechnical Engineer shall submit satisfactory soil test data and engineering calculations to substantiate the stability of all such slopes and slope surfaces under saturated conditions. (J106.1)
 - g. No fill may toe out on existing terrain that has a slope steeper than 2:1, unless substantiated by a Registered Soils Engineer and approved by the Building Official. (J107.2)
45. Site Development and Grading shall be designed to provide access to all entrances and exterior ground floor exits for structures, and access to normal paths of travel (11B-206). The following Accessibility details must be included on the grading plans.
- a. Surface slopes of accessible parking spaces shall be the minimum possible and shall not exceed one unit vertical to 50-units horizontal (2-percent slope) in any direction. (11B-502.4)
 - b. Ramp shall not encroach into any accessible parking space or the adjacent access aisle. The maximum cross slope in any direction of an accessible parking space and adjacent access aisle shall not exceed 2 percent. (1109A.8.2)
 - c. Provide a bumper or curb in each parking area to prevent encroachment of cars over the required width of walkways. (11B-502.7.2)
 - d. Provide a continuous common surface for walks and sidewalks, not interrupted by steps or by abrupt changes in level exceeding $\frac{1}{2}$ ". (11B-403) Should change not exceeding $\frac{1}{2}$ " occur, they shall be beveled with a slope no greater than one unit vertical to 2 units horizontal (50 percent), except that level changes not exceeding $\frac{1}{4}$ " may be vertical. (11B-403.4, Fig 11B-303.2 & 11B-303.3)
 - e. Provide a curb ramp for abrupt changes in level greater than $\frac{1}{2}$ ". (11B-303.4)
 - f. Walk and sidewalk surface cross slopes shall not exceed $\frac{1}{4}$ " per foot. (11B-403.3)
 - g. Walks, sidewalks, and pedestrian ways shall be free of gratings whenever possible. For gratings located in the surface of any of these areas, grid openings in gratings shall be limited to $\frac{1}{2}$ " in the direction of traffic flow. If gratings have elongated openings, they shall be placed so that the long dimension is perpendicular to the dominant direction of travel. (11B-302.3, Fig 11B-302.3)
 - h. Maximum slopes of adjoining gutters, road surface immediately adjacent to the curb ramp or accessible route, shall not exceed one unit vertical to 20 units horizontal (5 percent slope) with 4 feet of the top and bottom of the curb ramp. (11B-406.2.1) The slope of the fanned or parallel curb ramps shall not exceed one unit vertical to 12 horizontal (8.3 percent slope). (11B-406.3.1 & 11B-406.4.1)
 - i. The maximum slope of a ramp that serves any exit way, provides access for persons with physical disabilities, or is in the accessible route of travel shall be 1 foot rise in 12 feet of horizontal run (8.3 percent gradient). The least possible slope shall be used for any ramp. (11B-405.2)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS

STORM WATER POLLUTION PREVENTION REQUIREMENTS

46. All active grading projects with grading proposed within the rainy season, October 15 to April 15, require an Erosion and Sediment Control Plan (ESCP). Grading permits will not be issued until ESCPs are approved or details for erosion control are included with the grading plan. (J110)

Grading projects with a disturbed (graded) area 1 acre or greater may use a State SWPPP to meet ESCP requirements.

47. The following requirements to control and protect pollutants generated from grading construction activities are based on the project size:
- a. For small residential construction sites with a disturbed (graded) area less than one acre, stormwater pollution control measures (BMPs) must be incorporated on the site during construction. Attached Best Management Practice (BMP) notes must be placed on plans. (see attached BMP notes)
 - b. For all new Non-residential projects with an area less than one acre, an ESCP must be reviewed and approved prior to approval of the grading plans. Please see enclosed ESCP review sheet. (LACGBC 5.106.2)
 - c. For all construction sites with a disturbed (graded) area of one acre or greater or as determined by the building official, an ESCP must be reviewed and approved prior to approval of the grading plans. Please see enclosed ESCP review sheet.
 - d. For projects with one acre or greater of disturbed area, a State Storm Water Pollution Prevention Plan (STATE SWPPP) must be prepared and a "Notice of Intent" (NOI) filed with the State Water Resources Control Board. Prior to grading approval applicant must file a NOI and obtain a Waste Discharger identification number (WDID) from the State Water Resources Control Board.

DRAINAGE REQUIREMENTS

GENERAL

48. The following drainage information or details must be included on grading plans. (J104.2.3)
- a. Show contours, topography, elevations, flow lines, & flow arrows as necessary to define site drainage.
 - b. Provide complete construction details of all drainage devices proposed on project grading plans. Plan must show materials, dimension, location, construction notes, cross sections, and elevations needed to construct proposed devices. All drainage devices must be defined by showing finished flow line elevations and slopes. Plans must reference LACDPW or Standard Plans for Public Works Construction (APWA standards) as applicable. Complete details for all other proposed devices must be shown on plans. Plans must include all applicable notes and specifications.
 - c. Show the location of any existing or proposed storm drains and associated easement and reference them on the plans. Show all details including pipe sizes, invert elevations, type of construction material, inlet and outlet structures, energy dissipater, profiles, etc.
 - d. Provide a cross-section of access road to define drainage.
 - e. Clean outs are required at all points of closed drains where the grade changes from a steep to a relatively flat slope. The manhole(s) or cleanout(s) must be detailed on the plans and easily accessible. Clean outs must be provided every 50 feet for residential projects.
 - f. Provide concrete interceptor swales, to handle tributary flow and debris at locations shown on the plans. Concrete swales are required to be paved with three (3) inches minimum thickness of concrete or gunite with minimum reinforcement of 6 x 6 - 10/10 welded wire fabric (WWF). Details of concrete swale(s) must be shown on the grading plan.
 - g. Show flow elevation of all drainage devices at inlets, outlets, grade breaks and at 100' intervals where applicable.
49. Drainage is not permitted to sheet over any manufactured slope except in approved devices. Concentrated drainage is not permitted to discharge onto any graded slope. Berms, interceptor drains, swales or other devices shall be provided at the top of cut or fill slopes to prevent surface waters from overflowing onto and damaging the face of a slope.
- a. A paved interceptor drain is required at the top of graded slope(s). Interceptor drains shall be installed along the top of graded slopes greater than 5 feet in height receiving drainage from a slope with a tributary width greater than 30 feet measured horizontally. Interceptor drains shall be a minimum depth of 1 foot and a minimum width of 3 feet. The interceptor drain slope shall not be less than 50 units horizontal to 1 unit vertical (2 percent) and must be paved with three (3) inches minimum thickness of concrete or gunite with minimum reinforcement of 6 x 6 - 10/10 welded wire fabric (WWF). Details of interceptor drain(s) must be shown on the grading plan (J109.3)
 - b. An earthen berm at the top of fill slope for slope protection. Earthen berms shall not be less than 12 inches above the level of the pad and shall slope back at least 4 feet from the top of the slope. (J109.3)
50. Clearly define drainage pattern at the property line(s). Define offsite drainage pattern tributary to subject site. Plans should clearly define off site areas that contribute to the site by showing, contours, elevations, or flow lines & arrows as applicable. Plans must demonstrate how tributary drainage will be conveyed through and around the proposed site. If applicable, an offsite map at a scale of no less than 1"=1000' may be used to define the offsite tributary areas. A scale greater than 1"=1000' will be required if contours or elevations are insufficient to establish flow conditions.
51. Cut-off walls are required on all inlet and outlet structures. Details must be shown on plans.
52. Velocity reducers (i.e. energy dissipaters) are required where drains discharge onto natural ground. If riprap is to be used specify class and size. Outlet velocities from proposed drainage devices must be designed to minimize erosion. Show on plan and provide cross section detail which shows thickness, length, and embedment depth of rocks.
53. Provide parkway drain per county/city standards (If located in Road Right of Way a separate permit for work will be required, see Item # 22 and 23 above).

DRAINAGE ANALYSIS

54. Any alteration of the natural drainage pattern, as a result of the proposed grading and construction requires a drainage release covenant (See item # 32). Hydrology/hydraulic analysis are required to determine if changes in Pre-development and Post-development conditions have occurred. (J109.4)
- RT** 55. Submit hydrology and hydraulic calculations for sizing of drainage devices proposed on the grading plans. Hydraulic Analysis should be provided for sizing of all pipes, inlets, swales, energy dissipaters, parkway drains, cutoff walls, levee linings, or other proposed drainage devices. (2 sets of all analysis are required. Calculations should be signed and stamped by a Civil Engineer registered in California.)
56. Proposed project has grading or structure located near or within in a flood hazard. Provide hydrology/hydraulic analysis for determining flood hazard limits and impacts due to the proposed project. Grading or structures inside a flood hazard area must be protected. Plans showing for protecting or removing the Flood Hazard must be prepared by a California Registered Civil Engineer and demonstrate structures are adequately protected. Details of all protective measures must be shown on the grading plans.
57. This property is in a Federally Designated Special Flood Hazard Area. Buildings and structures constructed in whole or in part in flood hazard areas must comply with LACBC Sections 1612 and LACRC Section R322.1.9. All work within Zone A must meet requirements of the National Flood Insurance Program (NFIP), Chapter 44, Section 60.3. The minimum floor elevation for proposed structures shall be _____ per Bench Mark reference no. _____, FIRM panel No. _____, Flood Zone _____, Floodway name _____ or as determined in accordance with Sections 1612.3.1 and R322.1.4.1. An elevation certificate will be required to be filed at the local office of Building and Safety Once the finished floor elevation has been established. The certificate must be completed by a California Registered Civil Engineer or a Land Surveyor as per Sections 1612.5 and R322.1.9. Provide hydrology/hydraulic analysis to determine the water surface elevation.
- Place the following note on the cover sheet:
- This site is in a Federally Designated Special Flood Hazard Area. All future buildings, and other structures (including walls and fences) proposed within Zone A must meet requirements of the National Flood Insurance Program (NFIP), Title 44, Section 60.3 and Title 26, Sections 110.1 and 110.2 of the Los Angeles Building Code.
58. The proposed Tract or Parcel Map grading work impacts or encroaches into the Federal Designated Flood Zone "A." It will be necessary to process a Conditional Letter of Map Revision (CLOMR) before this grading plan can be approved. Please see attached information for processing CLOMRs (may be required for large single lot developments as determined by the Building Official).
- RT** 59. For items #54 through 57 above the following analysis is required:
- RTa.** A hydrology study per LACDPW Rational or Modified method is required. See LADPW Hydrology Manual for requirements. The Rational Method may be used for sub areas less than 40 acres and when storage routing is not necessary. Time of Concentrations may be determined using the "Hydrocalc Program" which is available at: <http://www.dpw.lacounty.gov/wrd/publication/>
- b. A gradual varied flow analysis is required (WSPG, HEC-II & HEC-RAS or an approved program) The analysis shall address adverse effects on the grading and adjacent properties. Proposed structures shall be designed with considerations of flood forces i.e.: impact, scour, and buoyancy.

LOT DRAINAGE

ROUGH GRADED PADS

60. Label sufficient pad finish spot elevations to verify pad area will have a minimum slope of 2% toward the intended drainage outlet. Label rough graded pad slope, 2% minimum. (J109.5)

FINE (PRECISE) GRADED PAD

61. Show location of proposed structure(s) on building pad(s). Buildings, foundations, pools and building footings must comply with slope setback requirements (1808.7 and R403.1.7) and building setback requirements per (Title 22, Zoning Code). Define fine drainage around structure by providing flow directional arrows and appropriate flow line elevations of graded swale to verify slope from the high point to the point of outlet. All graded swales must have a minimum slope of 1% towards street or acceptable outlet and side slopes of 2% minimum and 21% maximum. Paved (concrete) surfaces may drain away from structures at a minimum slope of ½%. Specify graded swales high point elevations and graded swale elevations at building corners.
62. Provide a detail of typical side swale between adjacent lots.
63. Label the finish floor (FF), finish pad (FP) elevations and adjacent grades to proposed buildings.
64. Provide a minimum grade fall of 6 inches within the first 10 feet from foundation wall. Show flow arrows to define drainage pattern around proposed structures. (LACRC R401.3 – See allowable exceptions)
65. Show a detail on the plan of paved side swales when a stoop, fireplace, A/C unit, or other obstruction is within five feet of the property line and/or top or toe of slope.

SUMP CONDITIONS & PUMPS

66. The project requires a sump pump to outlet drainage from the site. Submit sump pump sizing calculations along with pump manufacturers design information and rating curves. Plans must show complete details for sump pumps on the plans including, pipes, valves, dimensions, material type and size, elevations, cross sections, and construction notes. A separate electrical permit from Building and Safety is required. Calculations must be prepared, signed, and stamped by a California Registered Civil Engineer.

TERRACE DRAINAGE REQUIREMENTS TO BE SHOWN ON PLANS

67. Drainage terraces at least 8 feet in width shall be established on all cut or fill slopes steeper than 3:1 at not more than 30-foot vertical intervals to control surface drainage and debris. When only one terrace is required it shall be at mid-height. Drainage terraces are required to be paved with three (3) inches minimum thickness of concrete or gunite with minimum reinforcement of 6 x 6 - 10/10 welded wire fabric (WWF). Show a detail of terrace on the grading plan. (J109.2)
68. For slopes steeper than 3:1 gradient and between 100 feet and 120 feet in height, one drainage terrace near mid-height shall be provided and not be less than 20 feet in width, a minimum of 8 feet of which must be paved. (J109.2)
69. Erosion is a problem for all graded slopes higher than 30 feet. For slopes flatter than 3 units horizontal to 1 unit vertical and steeper than 5 units horizontal to 1 unit vertical, a paved swale or ditch shall be installed at 30 foot vertical intervals to control surface drainage and debris. Swales shall be sized based on contributory area and have adequate capacity to convey intercepted waters to the point of disposal as defined in Section J109.5. Swales must be paved with reinforced concrete not less than 3 inches in thickness, reinforced with 6-inch by 6-inch No.10 by No.10 welded wire fabric or equivalent reinforcing centered in the concrete slab or an equivalent approved by the Building Official. Swales must have a minimum flow line depth of 1 foot and a minimum paved width of 18 inches. Swales shall have a minimum gradient of not less than 5 percent. There shall be no reduction in grade along the direction of flow unless the velocity of flow is such that slope debris will remain in suspension on the reduced grade.
70. Demonstrate that the maximum length of terrace or swale that may contribute to any down drain is 300 feet in any direction as required. (J109.2)
71. Provide open down drains unless specifically approved by the Building Official.
72. Provide a detail on the plans of transition structures for open drains where the grade changes from a steep to a relatively flat slope.
73. Show flow line elevations of all drainage terraces at each change in grade and at approximate 100 feet intervals. The flow line gradient can be no less than 5% and no greater than 12%. There shall be no reduction in grade along the direction of flow unless it can be shown that the velocity of flow will be such that the debris will remain in suspension on the reduced grade to prevent silt deposition. (J109.2)
74. Terrace drains are to be used for drainage generated from manufactured slopes. Provide separate drainage system for natural areas. The draining of natural slope runoff to terrace drain system is not permitted. The terrace drain system is only designed and intended to drain flows generated from the slope itself.
75. Sufficient access for the maintenance of slope and terrace drains must be provided and shown on plans.

RETAINING WALL AND FREE STANDING WALLS

76. STANDARD RETAINING AND SCREEN WALLS -- These walls are not plan checked, constructed, inspected, or permitted per the grading permit. Separate plan checking and permitting is required. Label all standard retaining walls "To be constructed per separate permit". Retaining wall permit(s) and grading and permit must be issued concurrently.
77. GENERAL WALL COMMENTS
 - a. Define proposed drainage scheme around walls. Flows tributary to top of proposed retaining wall(s) must be conveyed around the wall(s) by a concrete swale or an approved drainage system (i.e. inlet and pipe). Provide details of drainage system or swale. Show flow line elevations, swale, inlet, and outlet details.
 - b. Show and label applicable setbacks from walls to structures and top and/or toe of both existing and proposed slopes and property lines.
78. SEGMENTAL EARTH (GEOGRID) RETAINING WALLS: These walls are plan checked, constructed, bonded, and inspected per the grading plans and permit. The following is required for the proposed geogrid wall:
 - a. Details and stability analysis for geogrid walls must be approved by the Soils and Geology Section of the Department's Geotechnical and Materials Engineering Division.
 - b. Provide on plans all manufacturers construction instructions and installation procedures for the construction of the segmental earth retaining walls. Proposed wall systems must have an approved ICBO Evaluation Report/ICC-ES Legacy Report, which must be labeled on the plan. Walls not approved through a report will require additional review by Research Section.
 - c. The geogrid fabric must be mechanically anchored to the facing units. Provide details of the facing unit and the mechanical connection.
 - d. Provide adequate wall sections (wall face, endpoints, curves/corners, areas adjacent to drainage courses) and label the geogrid type, location, spacing and embedment length behind the interior face of the block unit.
 - e. Label all pertinent geotechnical recommendations, such as maximum allowable rock size, placement/compaction specifications for the backfill, overexcavation, and minimum distance from compaction equipment to wall face.
 - f. In order to prevent future damage to the geogrid wall, a Restricted Use Area (RUA) for the embedment area of reinforcing geogrid must be recorded. This area shall extend 10' horizontally beyond the limits of the embedment area. Show and label the RUA on the grading plans including bearings and distances of boundary.
 - For Subdivisions, the RUA must be established and recorded on the Final Tract or Parcel Map.
 - For Non – Subdivisions, a sketch and restricted use covenant must be recorded on the property. (See attached covenant)

SLOPE PLANTING, IRRIGATION AND EROSION CONTROL

79. The surface of all cut slopes more than 5 feet in height and fill slopes more than 3 feet in height shall be protected against damage from erosion by planting with grass or ground cover plants. (J110.1) Slopes exceeding 15 feet in vertical height shall also be planted with shrubs, spaced at not to exceed 10 feet on centers; or trees, spaced at not to exceed 20

feet on center; or a combination of shrubs and trees at equivalent spacing, in addition to the grass or ground cover plants. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site.

Note: Planting may be modified for the site if specific recommendations are provided by both the Soils Engineer and a Landscape Architect. Specific recommendations must consider soils and climatic conditions, irrigation requirements, planting methods, fire retardant characteristics, water efficiency, maintenance needs, and other regulatory requirements. Recommendations must include a finding that the alternative planting will provide a permanent and effective method of erosion control. Modifications to planting must be approved by the Building Official prior to installation.

80. Slopes required to be planted by Subsection J110.3 of the Building Code and as indicated in item no. 79 above shall be provided with an approved system of irrigation that is designed to cover all portions of the slope. For slopes less than 20 feet in vertical height, hose bibs to permit hand watering will be acceptable if such hose bibs are installed at conveniently accessible locations where a hose no longer than 50 feet is necessary for irrigation.

Note: The requirements for permanent irrigation systems may be modified upon specific recommendation of a landscape architect or equivalent authority that, because of the type of plants selected, the planting methods used and the soil and climatic conditions at the site and irrigation will not be necessary for the maintenance of the slope planting.

81. For items no. 79 and 80 above, the following is required:

- a. For slopes less than 20' in vertical height, notes no. 47 and 48 of the attached general notes must be added to the grading plans.
- b. For slopes 20' or more in vertical height, provide a landscape and irrigation plan specifying the selected planting and irrigation for all graded slopes. Include the selection and spacing of all ground cover, shrubs, and trees, in addition to location and details for the selected irrigation system. The plan should address all manufactured slopes that are proposed on the grading plans. A separate plumbing permit may be required for the proposed irrigation system. The landscape plan must be stamped by a licensed civil engineer or landscape architect.

82. Effective, December 1, 2015 all developments that fall into one of the following categories must obtain a Landscape Permit (Title 23 of California Code of Regulations, Chapter 2.7, Section 490.1 of "Model Water Efficient Landscape Ordinance (MWELO)". See exemptions in in same section for historic sites, ecological or mine reclamation projects:

- New Proposed Landscape 500 square feet or greater
- Rehabilitated Landscape 2500 square feet or greater

- a. Specify both here and on the plans: The total proposed landscape area is _____ square feet.
- b. Submit Landscape Plans to Land Development Division for review and approval. Landscape Plans must be approved, and a Landscape Permit issued prior to Rough Grade approval. Land Development Division is located at 900 S. Fremont Ave 3rd Floor, Alhambra, CA 91803. Additional information on requirements for Landscaping Permits can be obtained from Land Development Division at (626) 458-4921. Fees for Plan Check and Permit Inspection are required.
- c. Note no. 50 of the attached general notes must be added to the grading plans.
- d. The following statement shall be added to plans and must be signed by the consultant civil engineer or licensed plan preparer:

I have complied with the criteria of MWELO and applied the requirements accordingly for the efficient use of water in the grading design plan.

Name and Signed: _____
Title: _____

- e. Projects having landscaping equal to or less than 2500 square feet and are proposing rainwater storage or graywater use for irrigation is subject only to Appendix D Section (5) of MWELO. Submit landscape plans to Land Development Division as directed in 81 b. Consult LA County Public Health for additional requirements <https://dpw.lacounty.gov/wwd/web/Documents/Graywater%20System.pdf>

83. Grading plan must identify area of proposed Drought Tolerant Landscaping and Turf Area. Post-construction landscape designs shall comply with all of the following (Title 31, Section 4.106.5):

- a. Turf areas shall not exceed 25 percent of the total landscaped area.
- b. Noninvasive drought tolerant plant and tree species appropriate for the climate zone region shall be utilized in at least 75 percent of the total landscaped area. A list of drought tolerant plants may be obtained at <http://planning.lacounty.gov/green>.

84. Newly constructed non-residential landscape areas greater than 1,000 square feet and residential areas greater than 5,000 square feet require separate water meters or sub-meters (Title 31, Section 5.304.2, Water Code, Section 535, and MWELO). Show location of proposed water meter(s) or sub-meter(s) on plans.

85. All Landscaping requires a Smart Irrigation Controller. Automatic irrigation system controllers for landscaping shall be installed at the time of final inspection and shall comply with the following:

- i. Controllers shall be weather or soil moisture based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
- ii. Weather based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture based controllers are not required to have rain sensor input.

- Show location where Smart Irrigation Controller is to be installed and label manufacture name and model number.

LOW IMPACT DEVELOPMENT (LID) Requirements

All development must comply with the County of Los Angeles' Title 12, Chapter 12.84 (LID).

LID standards are intended to distribute stormwater and urban runoff across developed sites to help reduce adverse water quality impacts and replenish groundwater supplies. The LID Manual is available at the following link: <http://dpw.lacounty.gov/idd/web/>

Under the NPDES permit (LACBC Section 106.4.3) and the County of Los Angeles LID ordinance, priority projects are required to prohibit the discharge of pollutants from property developments. Preventing these pollutants from entering stormwater discharge system will be accomplished by requiring the installation and maintenance of post-construction treatment controls. (Best Management Practices (BMPs))

Residential development of 4 units or less:

- New development, hillside development, redevelopment, alterations, or additions which alter 50% or more of impervious surfaces, entire site shall meet LID requirements.

86. **Residential development of 4 units or less** must implement a minimum of two LID Best Management Practice (BMP) alternatives as indicated in Section 3.2 and Appendix E – Stormwater Quality Control Measure Fact Sheets of the LID Manual. Plans must show complete construction details, materials, manufacturer, model number, dimensions, location, structures, slopes, construction notes, specifications, cross sections, elevations, and setbacks from property lines needed to construct proposed LID BMPs. BMPs should be designed so as not to adversely impact building foundations, pavement, slope stability, or an adjacent property. For hillside properties all catch basins and inlets that discharge into an existing or proposed storm drains must be labeled to discourage illegal dumping of pollutants. Stencils are available at your local Building and Safety office.

- a. Permeable Porous Pavement or other impervious surfaces (at least 50% of pavement on lot shall be porous)
 - Show detail of placement, base, geotextile, subgrade, and soil preparation per manufacturer's specifications.
 - The required soils report must address percolation and manufacturer's recommendations and guidelines.
 - H-20 loading is required for Fire Department access.
 - A minimum of 30" deep impervious liner or edge restraint is required within 5' of public right of way, property lines, and structures unless otherwise recommended by a soils engineer.
- b. Downspout routing
 - Cistern/rain barrel
 - Show location of cistern/rain barrels. Rain barrels should be designed to store 200 gallons and be located such that roof run-off is equally distributed. Rain gutters & downspouts shall be shown on plans.
 - Plans shall show hose bibs or pump systems for discharge and watering of landscaping. (Note: A separate electrical permit is required for pump systems).
 - A plumbing permit is required for backflow prevention devices when the discharge system is tied into a landscaping irrigation system served by a potable water source.
 - H-20 loading is required for underground cisterns located in an area subject to traffic conditions.
 - Plans should include manufacturer specifications and notes for rain barrels. See provided guidelines.
 - Rain garden/Stormwater Planter
 - Surface area of flow through type planter box shall be designed and sized to treat 200 gallons. Planter must have a 18" minimum top soil layer and 12" minimum gravel layer.
 - The infiltration type planter box shall be designed to infiltrate 200 gallons over a 48 hour period.
- c. Divert Runoff/Disconnect Impervious Surfaces (Hillsides \geq 25% slope must comply with this requirement)
 - Show driveway, roof, and other impervious surfaces to drain toward pervious landscaped areas. The ratio of impervious to pervious area shall be no less than 2:1. This ratio must be identified on plans for each affected area. A minimum of 90% of the untreated impervious area shall be routed toward vegetated areas or water quality BMPs.
- d. Dry well
 - Show details including the following: location, cross section details, liner materials, subbase, and all manufacturer's specifications and/or recommendations from soils engineer.
 - The required soils report shall address dry well and manufacturer's specification and requirements.
 - The system should be designed to store and infiltrate a minimum of 200 gallons of stormwater within a 48 hour period.
 - Provide calculations to determine the infiltration volume for sizing of well and determine time of infiltration to percolate 200 gallons.
 - A filter or sediment control is required to filter water entering the dry well.
 - Drywells that are deeper than their widest dimension are defined by the EPA as Class V injection wells, and are subject to inventory requirements under the Safe Drinking Water Act and must be registered at the following link with the EPA as injection wells. <http://www.epa.gov/region09/water/groundwater/injection-wells-register.html>. If this type of dry well is proposed, provide copy of registration.
- e. Landscaping and landscape irrigation
 - Show a minimum of two 15-gallon trees to be planted and maintained. Trees shall be located near impervious surfaces (10 foot maximum distance). One of the trees may be on the drought-tolerant plant list as required under the County's Green Building Ordinance (http://planning.lacounty.gov/assets/upl/project/green_drought-tolerant-garden.pdf). In Very High Fire Hazard Severity Zones, applicant should verify compliance with Fire Department's requirements <https://www.fire.lacounty.gov/forestry-division/forestry-fuel-modification/>.
 - Install Smart Irrigation Controllers. (see Comment 85 for requirements)
- f. Green Roof
 - Show area of green roof on site plan.
 - Structural calculations for design of green roof will be required at time of building plan submittal.
 - Fire Department approval will be required as part of building plan check.

87. **The following is a list of Designated Projects for new development and redevelopment activities that require compliance with LA County's LID ordinance. (See LID manual for additional information)**

- All development projects equal to 1 acre or greater of disturbed area and adding more than 10,000 square feet of impervious surface area
- Residential new or redeveloped projects that creates, adds, or replaces $\geq 10,000$ square feet of impervious surface area.
- Industrial parks 10,000 square feet or more of surface area
- Commercial malls 10,000 square feet or more surface area
- Retail gasoline outlets 5,000 square feet or more of surface area
- Restaurants (SIC 5812) 5,000 square feet or more of surface area
- Parking lots 5,000 square feet or more of impervious surface area, or with 25 or more parking spaces
- Street and road construction of 10,000 square feet or more of impervious surface area
- Automotive service facilities with 5,000 square feet or more of surface area
- Projects located in or directly adjacent to, or discharging directly to a Significant Ecological Area (SEA), where the development will discharge storm water runoff that is likely to impact a sensitive biological species or habitat; and Create 2,500 square feet or more of impervious surface area
- Redevelopment projects identified below*:
 - Land-disturbing activity that results in the creation or addition or replacement of 5,000 square feet or more of impervious surface area
 - Development which alters less than 50% of impervious surfaces. Only proposed re-development needs to meet NPDES requirements.
 - Development which alters 50% or more of impervious surfaces. Entire site shall meet NPDES requirements.

*Impervious surface replacement, such as the reconstruction of parking lots and roadways which does not disturb additional area and maintains the original grade and alignment, is considered a routine maintenance activity. Redevelopment does not include the repaving of existing roads to maintain original line and grade.

REQUIREMENTS:

- A. New Development and Re-Development Projects must control runoff through infiltration, bioretention, and/or rainfall harvest and use. Project must retain onsite the Stormwater Quality Design Volume (SWQDv) as defined by the greater of the following:
- The 0.75-inch, 24 hour rain event or
 - The 85th percentile, 24-hour rain event, as determined from the Los Angeles County 85th percentile precipitation isohyetal map (www.dpw.lacounty.gov/wrd/hydrologygis) .
- B. Bioretention and biofiltration systems shall meet the design specifications provided in Appendix E of LA County's LID manual. (available at <http://dpw.lacounty.gov/idd/web/>). Biofiltration systems shall be entirely open-bottom.
- C. When evaluating the potential for onsite retention, each projects must consider the maximum potential for evapotranspiration from green roofs and rainfall harvest and reuse for both indoor and outdoor use.
- D. To demonstrate technical infeasibility, it must be shown that a project site cannot reliably retain 100 percent of the SWQDv onsite. Technical infeasibility may result from the following:
- i. The infiltration rate of saturated in-situ soils less than 0.3 inch per hour.
 - ii. Seasonal high ground water is within 5 to 10 feet of the surface.
 - iii. Locations within 100 feet of a ground water well used for drinking water.
 - iv. Brownfield development sites where infiltration poses a risk of pollutant mobilization.
 - v. Locations with potential geotechnical hazards.
- E. When technical infeasibility has been demonstrated the site must biofiltrate using the following equation for volume required:

$$Bv = 1.5 * [SWQDv - Rv]$$

Where: Bv = Biofiltration volume

SWQDv = Stormwater runoff as defined in 85 A

Rv = Volume reliably retained onsite (amount infiltrated)

Show volumes and flow rates on plans as applicable.

Note: For additional alternative compliance measures see Regional Water Quality Control Board Order No. R4-2012-0175 section VI.D.7.c.iii (http://www.waterboards.ca.gov/losangeles/water_issues/programs/stormwater/municipal/index.shtml)

- F. Project sites that outlet to natural drainage systems that are subject to hydromodification shall be in compliance with LA County's LID manual, Section 8 (available at <http://dpw.lacounty.gov/idd/web/>).
- G. The plans must show complete construction details, materials, manufacturer, model number, dimensions, location, structures, slopes, construction notes, specifications, cross sections, elevations, GPS x-y coordinates for each BMP, and setbacks from property lines needed to construct proposed LID BMPs. BMPs should be designed as not to adversely impact building foundations, pavement, slope stability, or an adjacent property.
- H. Clearly show driveway/access road drainage and provide BMPs for treatment of driveway flows. Provide elevations, cross sections, or slopes as applicable.
- I. Submit and obtain approval from Environmental Programs Division, Industrial Waste Unit. An annual operating permit may be required. Environmental Programs Division (EPD), Industrial Waste Unit - 900 S. Fremont, Alhambra, Annex Building, 3rd floor, (626) 458-3517. Please contact EPD for required fees and minimum submittal requirements. Please note: prior to obtaining approval from EPD the location and the design flows for all BMPs must be shown on plans and approved by Building and Safety (This applies to all non-residential projects).
- J. Pre-treatment BMPs are required.

88. **Non-Designated Projects.**

Non-residential development (Commercial, Industrial) or a residential development consisting of 5 or more residential units:

- Development which alters less than 50% of impervious surfaces. Only proposed new impervious areas needs to meet LID requirements.
- Development which alters 50% or more of impervious surfaces. Entire site shall meet LID requirements.

A. This project is required to retain the Delta Storm Water Quality Design Volume (Δ SWQDv), the difference between the stormwater runoff volume pre- and post-condition. The SWQDv, from which the Δ SWQDv is calculated, is defined in item 85A of this grading review sheet. Δ SWQDv is defined as the difference in the runoff volume between undeveloped (1% impervious surface) and post-developed condition. The Δ SWQDv is calculated according to the following equation:

$$\Delta\text{SWQDv} = V_d - V_u$$

Where: Δ SWQDv = Increase in stormwater runoff volume from the project [ft³];
 V_d = Stormwater runoff volume post-development [ft³]; and
 V_u = Undeveloped stormwater runoff volume [ft³] (1% impervious).

If Δ SWQDv cannot be infiltrated due to geotechnical or technical feasibility as indicated in Section 7 of the County's LID Manual; onsite storage or other water conservation requirements must be implemented.

- B. Provide calculations for sizing of the proposed BMP's. Calculations must consider Δ SWQDv, percolation rate, and geotechnical considerations.
- C. Plans must show complete construction details, materials, manufacturer, model number, dimensions, location, structures, slopes, construction notes, specifications, cross sections, elevations, GPS x and y coordinates for each BMP, and setbacks from property lines needed to construct proposed LID BMPs. BMPs should be designed as not to adversely impact building foundations, pavement, slope stability, or an adjacent property.
- D. Hydrology Calculations to determine the increase in volume due to development is required. For smaller sites, the County's Hydrocalc Program may be used for determining Pre- and Post-construction volumes. See Section 6 of County's LID Manual.
 - A drain system is required for all infiltration basins. Drain systems shall discharge to an approved location and must be shown on site drainage or grading plans. Calculations for sizing of the infiltration basins are required.

89. For LID compliance, all catch basins and inlets that discharge into an existing or proposed storm drain must be labeled to discourage illegal dumping of pollutants. Stencils are available at your local Building and Safety office.

90. All infiltration basins, dry wells, or planters must comply with the following setbacks

Infiltration Facility Setbacks*	
<u>Setback from</u>	<u>Distance in feet</u>
Property lines & Public Right of Way	5' minimum
Any Foundation	15' or within a 1:1 plane drawn up from the bottom of foundation
Face of any slope	H/2, 5' minimum (H is height of slope)*
Seasonal high ground water	10' minimum depth to invert
Water wells	100' minimum

Required Infiltration Time (due to vector control)	
<u>BMP Type</u>	<u>Duration</u>
Open above ground (includes planting soil or open gravel pit)	48 hours to drain completely
Underground retention	96 hours to drain completely

*unless otherwise recommended by a Soils Engineer and approved by Geotechnical and Materials Engineering Division.

Note: Infiltration is not allowed in areas where pollutant mobilization is a documented concern, or where undisturbed soil infiltration rates are less than 0.3 inches per hour, or where infiltration could cause adverse impacts to biological resources.

91. An Infiltration Report by a Soils Engineer and the grading plans must be reviewed and recommended for approval by the Geology and Soils Section prior to approval of an Infiltration/Retention - Low Impact Development (LID) BMP. The Infiltration Report must comply with GMED Geotechnical Memo GS 200.1 and should be presented as its own report. All recommendations and notes as indicated in the soils engineering report and/or GMED review sheets must be incorporated into the grading plans. The GS 200.1 memo can be found at: <http://dpw.lacounty.gov/gmed/permits/docs/policies/GS200.1.pdf>

Gravel Specification for Non-proprietary gravel storage layers must indicate 1.5" to 3" diameter, angular, clean rock compacted to 90% relative compaction or equivalent determined and field verified by a Soils Engineer.

92. Rainwater harvest and reuse systems that are NOT gravity fed require approval from LA County Public Health, Cross Connection & Water Pollution Control Program. The application and further information is found at http://publichealth.lacounty.gov/eh/EP/cross_con/cross_con_main.htm. In addition, approval from LA County, Building and Safety Plumbing Section is required. Rainwater harvest design and plans must comply with County of Los Angeles, Plumbing Code, Chapter 16 – Non-Potable Rainwater Catchment Systems.

93. Different types of infiltration facilities such as dry wells, unlined sumps, seepage pits, and infiltration galleries are some of the terms used to describe Class V injection wells as defined by the EPA. Register the proposed infiltration facility at the following online registration form: <http://www.epa.gov/uic/forms/underground-injection-wells-registration>.

- 94. A recorded covenant indicating that the owner of the subject development is aware and agrees to maintain all stormwater BMP features for this project is required. The covenant shall include operation and maintenance guidelines prepared by the project civil engineer/architect. See attached LID Covenant Preparation and Recordation instructions. A draft copy of the covenant including all exhibits must be reviewed prior to recordation.
- 95. A Statement of Understanding and/or O&M Guidelines must be provided for Capital Projects.
- 96. The following information must be provided for LID Priority and Non-Priority Projects on the plans:

Date of maintenance agreement: _____	
Proposed Impervious Area: _____ sq. ft.	
Design Storm: (check one)	<input type="checkbox"/> 85 th Percentile <input type="checkbox"/> 0.75-inch
SWQDv: _____	ft ³ _____ Percent to be retained onsite
LID Solution: (check one)	<input type="checkbox"/> Infiltration <input type="checkbox"/> Biofiltration

ADDITIONAL CORRECTIONS: May Follow

Reviewed By: RaChelle Taccone

The following project information and grading notes as applicable must be shown on all grading plans.
PROJECT INFORMATION: (Required on Title Sheet of all Grading Plans)

(General Information)

- Grading Permit Application No. GRAD_____ *
- Earthwork Volumes Cut _____ (cy), Fill _____ (cy) *
 Over Excavation/ Alluvial Removal & Compaction _____ (cy) *
 Export _____ (cy), Export Location: _____ *
- Total Disturbed Area _____ (Acres) *
- Total Proposed Landscape Area _____ Square Feet *
- Total Turf Area _____% (Percent of Total Proposed Landscaping) *
- Total Drought Tolerant Landscaping Area _____ % (Percent of Total Proposed Landscaping) *
- Pre-Development Impervious area _____ (Acres) *
- Post-Development Impervious area _____ (Acres) *
- Waste Discharge Identification Number (WDID #) _____
- Construction & Demolition Debris Recycling and Reuse Plan (RPP ID) _____ *
- Post-construction BMP feature(s) GPS coordinates x _____, y _____

(Property Information)

- Property Address _____ (If exist *)
- Tract / Parcel Map No. _____ Lot/Parcel No. _____
- Property Owner _____ *
- Assessors ID Number(s) _____ *

(Zoning, Regional Planning, and other Agency Information)

- Property Zoning: _____ *
- Intended Land Use: _____ *
- (For proposed graded areas - i.e. ... Single Family Residence)
- Certificate of Compliance: CC NO. _____
- Plot Plan Number: PP NO. _____
- Conditional Use Permit: CUP NO. _____ Expiration Date: _____
- Oak Tree Permit Number: OTP NO. _____ Expiration Date: _____
- Community Standards District: _____
- California Coastal Commission Area: _____ Yes, _____ No Approved volume: _____ (cy)
- Coastal Development Permit CDP _____ Expiration Date: _____
- Fish & Wildlife, Army Corp of Engineers, Regional Water Control Board, AQMD & Other Agency Permits should be added as applicable. (Permit Number _____, Expiration Date _____)

Note: Items marked * are required on all grading plan.

GENERAL NOTES:

1. All grading and construction shall conform to the 2020 County of Los Angeles Building Codes and the State Model Water Efficiency Landscape Ordinance unless specifically noted on these plans.
2. Any modifications of or changes to approved grading plans must be approved by the Building Official.
3. No grading shall be started without first notifying the Building Official. A Pre-grading meeting at the site is required before the start of the grading with the following people present: Owner, grading contractor, design civil engineer, soils engineer, geologist, County grading inspector(s) or their representatives, and when required the archeologist or other jurisdictional agencies. Permittee or his agent are responsible for arranging Pre-grade meeting and must notify the Building Official at least two business days prior to proposed pre-grade meeting.
4. Approval of these plans reflect solely the review of plans in accordance with the County of Los Angeles Building Codes and does not reflect any position by the County of Los Angeles or the Department of Public Works regarding the status of any title issues relating to the land on which the improvements may be constructed. Any disputes relating to title are solely a private matter not involving the County of Los Angeles or the Department of Public Works.
5. All grading and construction activities shall comply with County of Los Angeles Code, Title 12, Section 12.12.030 that controls and restricts noise from the use of construction and grading equipment from the hours of 8:00 PM to 6:30 AM, and on Sundays and Holidays. *(More restrictive construction activity times may govern, as required by the Department of Regional Planning and should be shown on the grading plans when applicable.)*
6. California Public Resources Code (Section 5097.98) and Health and Safety Code (Section 7050.5) address the discovery and disposition of human remains. In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, the law requires that grading immediately stops and no further excavation or disturbance of the site, or any nearby area where human remains may be located, occur until the following has been measures have been taken:
 - a. The County Coroner has been informed and has determined that no investigation of the cause of death is required, and
 - b. If the remains are of Native American origin, the descendants from the deceased Native Americans have made a recommendation for the means of treating or disposing, with appropriate dignity, of the human remains and any associated grave goods.

7. The location and protection of all utilities is the responsibility of the Permittee.
8. All export of material from the site must go to a permitted site approved by the Building Official or a legal dumpsite. Receipts for acceptance of excess material by a dumpsite are required and must be provided to the Building Official upon request.
9. A copy of the grading permit and approved grading plans must be in the possession of a responsible person and available at the site at all times.
10. Site boundaries, easements, drainage devices, restricted use areas shall be located per construction staking by Field Engineer or licensed surveyor. Prior to grading, as requested by the Building Official, all property lines, easements, and restricted use areas shall be staked.
11. No grading or construction shall occur within the protected zone of any oak tree as required per Title Chapter 22.56 of the County of Los Angeles Zoning Code. The protected zone shall mean that area within the drip line of an oak tree extending there from a point at least five feet outside the drip line, or 15 feet from the trunk(s) of a tree, whichever is greater.
If an oak tree permit is obtained: (Add the following Note :)
All grading and construction within the protected zone of all oak trees shall be per oak tree permit no._____. All recommendations in the permit and associated oak tree report must be complied with and are a part of the grading plan. A copy of the oak tree permit and associated reports shall be maintained in the possession of a responsible person and available at the site at all times.
12. The standard retaining wall details shown on the grading plans are for reference only. Standard retaining walls are not checked, permitted, or inspected per the Grading Permit. A separate retaining wall permit is required for all standard retaining walls.
Note: This note only applies to standard retaining walls. Geogrid fabric and segmental retaining walls do not require a separate retaining wall permit. Details and construction notes for all Geogrid walls must be on the grading plan.
13. A preventive program to protect the slopes from potential damage from burrowing rodents is required per Section J101.8 of the County of Los Angeles Building Code. Owner is to inspect slopes periodically for evidence of burrowing rodents and a first evidence of their existence shall employ an exterminator for their removal.
14. Where a grading permit is issued and the Building Official determines that the grading will not be completed prior to November 1, the owner of the site on which the grading is being performed shall, on or before October 1, file or cause to be filed with the Building Official an ESCP per Section J110.8.3 of the County of Los Angeles Building Code.
15. Transfer of Responsibility: If the Field Engineer, the Soils Engineer, or the Engineering Geologist of record is changed during grading, the work shall be stopped until the replacement has agreed in writing to accept their responsibility within the area of technical competence for approval upon completion of the work. It shall be the duty of the permittee to notify the Building Official in writing of such change prior to the recommencement of such grading.

INSPECTION NOTES

16. The permittee or his agent shall notify the Building Official at least one working day in advance of required inspections at following stages of the work. (Section J105.7 of the Building Code.)
 - (a) Pre-grade – Before the start of any earth disturbing activity or construction.
 - (b) Initial - When the site has been cleared of vegetation and unapproved fill has been scarified, benched or otherwise prepared for fill. Fill shall not be placed prior to this inspection. Note: Prior to any construction activities, including grading, all storm water pollution prevention measures including erosion control devices which contain sediments must be installed.
 - (c) Rough - When approximate final elevations have been established; drainage terraces, swales and berms installed at the top of the slope; and the statements required in this Section have been received.
 - (d) Final - When grading has been completed; all drainage devices installed; slope planting established, irrigation systems installed and the As-Built plans, required statements, and reports have been submitted and approved.
17. In addition to the inspection required by the Building Official for grading, reports and statements shall be submitted to the Building Official in accordance with Section J105 of the County of Los Angeles Building Code.
18. Unless otherwise directed by the Building Official, the Field Engineer for all engineered grading projects shall prepare routine inspection reports as required under Section J105.11 of the County of Los Angeles Building Code. These reports, known as “Report of Grading Activities”, shall be submitted to the Building Official as follows:
 1. Bi-weekly during all times when grading of 400 cubic yards or more per week is occurring on the site;
 2. Monthly, at all other times; and
 3. at any time when requested in writing by the Building Official.

Such “Report of Grading Activities” shall certify to the Building Official that the Field Engineer has inspected the grading site and related activities and has found them in compliance with the approved grading plans and specifications, the building code, all grading permit conditions, and all other applicable ordinances and requirements. This form is available at the following website <http://dpw.lacounty.gov/bsd/dg/default.aspx>. “Report of Grading Activities” may be scanned and uploaded at the website or faxed to (310) 530-5482. Failure to provide required inspection reports will result in a “Stop Work Order.”
19. All graded sites must have drainage swales, berms, and other drainage devices installed prior to rough grading approval per Section J105.7 of the County of Los Angeles Building Code.
20. The grading contractor shall submit the statement to the grading inspector as required by Section J105.12 of the County of Los Angeles Building Code at the completion of rough grading.
21. Final grading must be approved before occupancy of buildings will be allowed per Section J105 of the County of Los Angeles Building Code.
22. *A property line survey, prepared by a CA licensed land surveyor or a civil engineer with a license number below C33966, may be required by the Building Official based upon site conditions in accordance with LACBC Section 108.1.*

DRAINAGE NOTES

23. Roof drainage must be diverted from graded slopes.
24. Provisions shall be made for contributory drainage at all times.
25. All construction and grading within a storm drain easement are to be done per Private Drain PD No. _____ or miscellaneous Transfer Drain MTD No. _____.
26. All storm drain work is to be done under continuous inspection by the Field Engineer. Status reports required under note 18 and Section J105.11 of the County of Los Angeles Building Code shall include inspection information and reports on the storm drain installation.

AGENCY NOTES (Add - Applicable Notes)

27. An encroachment permit from (County of Los Angeles Department of Public Works) (CALTRANS) (City of _____) is required for all work within or affecting road right of way. All work within Road right of way shall conform to (County of Los Angeles Department of Public Works)(CALTRANS) (City of _____) encroachment permit.
28. An encroachment permit /connection permit is required from the County of Los Angeles Flood Control District for all work within the County of Los Angeles Flood Control District Right of Way. All work shall conform to conditions set by the Permit.
29. Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the Fire Prevention Bureau or the local Fire Station prior to commencing work.
30. All work within the streambed and areas outlined on grading plans shall conform to:
 - Army Corp 404 Permit Number: _____.
 - California Fish & Wildlife Permit No.: _____.
31. All construction/demolition, grading, and storage of bulk materials must comply with the local AQMD rule 403 for Fugitive Dust. Information on rule 403 is available at AQMD's website <http://www.avagmd.com>.

GENERAL GEOTECHNICAL NOTES

32. All work must be in compliance with the recommendations included in the geotechnical consultant's report(s) and the approved grading plans and specifications.
33. Grading operations must be conducted under periodic inspections by the geotechnical consultants with monthly inspection reports to be submitted to the Geology and Soils Section. (900 S. Fremont, Alhambra CA 91803 – 3rd Floor)
34. The Soil Engineer shall provide sufficient inspections during the preparation of the natural ground and the placement and compaction of the fill to be satisfied that the work is being performed in accordance with the plan and applicable Code requirements.
35. Rough grading must be approved by a final engineering geology and soils engineering report. An As-Built Geologic Map must be included in the final geology report. Provide a final report statement that verifies work was done in accordance with report recommendations and code provisions (Section J105.12 of the County of Los Angeles Building Code). The final report(s) must be submitted to the Geotechnical and Materials Engineering Division for review and approval.
36. Foundation, wall and pool excavations must be inspected and approved by the consulting geologist and soil engineer, prior to the placing of steel or concrete.
37. Building pads located in cut/fill transition areas shall be over-excavated a minimum of three (3) feet below the proposed bottom of footing.

FILL NOTES

38. All fill shall be compacted to the following minimum relative compaction criteria:
 - a. 90 percent of maximum dry density within 40 feet below finish grade.
 - b. 93 percent of maximum dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90 percent of maximum dry density) is justified by the geotechnical engineer.

The relative compaction shall be determined by A.S.T.M. soil compaction test D1557-91 where applicable: Where not applicable, a test acceptable to the Building Official shall be used. (Section J107.5 of the County of Los Angeles Building Code.)
 - c. 95 percent of maximum dry density is required for all Fire lanes unless otherwise approved by the Fire Department.
39. Field density shall be determined by a method acceptable to the Building Official. (Section J107.5 of the County of Los Angeles Building Code.) However, not less than 10% of the required density test, uniformly distributed, and shall be obtained by the Sand Cone Method.
40. Sufficient tests of the fill soils shall be made to determine the relative compaction of the fill in accordance with the following minimum guidelines:
 - a. One test for each two-foot vertical lift.
 - b. One test for each 1,000 cubic yards of material placed.
 - c. One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof.
 - d. One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.

41. Sufficient tests of fill soils shall be made to verify that the soil properties comply with the design requirements, as determined by the Soil Engineer including soil types, shear strengths parameters and corresponding unit weights in accordance with the following guidelines:
 - a. Prior and subsequent to placement of the fill, shear tests shall be taken on each type of soil or soil mixture to be used for all fill slopes steeper than three (3) horizontal to one vertical.
 - b. Shear test results for the proposed fill material must meet or exceed the design values used in the geotechnical report to determine slope stability requirements. Otherwise, the slope must be reevaluated using the actual shear test value of the fill material that is in place.
 - c. Fill soils shall be free of deleterious materials.
42. Fill shall not be placed until stripping of vegetation, removal of unsuitable soils, and installation of subdrain (if any) have been inspected and approved by the Soil Engineer. The Building Official may require a "Standard Test Method for moisture, ash, organic matter, peat or other organic soils" ASTM D-2974-87 on any suspect material. Detrimental amounts of organic material shall not be permitted in fills. Soil containing small amounts of roots may be allowed provided that the roots are in a quantity and distributed in a manner that will not be detrimental to the future use of the site and the soils engineer approves the use of such material.
43. Rock or similar material greater than 12 inches in diameter shall not be placed in the fill unless recommendations for such placement have been submitted by the Soil Engineer and approved in advance by the Building Official. Location, extent, and elevation of rock disposal areas must be shown on an "As Built" grading plan.
44. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all fill placement and compaction operations where fills have a depth greater than 30 feet or slope surface steeper than 2:1. (Section J107.8 of the County of Los Angeles Building Code)
45. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all subdrain installation. (Section J107.2 of the County of Los Angeles Building Code)
46. All subdrain outlets are to be surveyed for line and elevation. Subdrain information must be shown on an "As Built" grading plan.
47. Fill slopes in excess of 2:1 steepness ratio are to be constructed by the placement of soil at sufficient distance beyond the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. Other construction procedures may be used when it is demonstrated to the satisfaction of the Building Official that the angle of slope, construction method and other factors will have equivalent effect. (Section J107.5 of the County of Los Angeles Building Code.)

PLANTING AND IRRIGATION NOTES:

48. Planting and irrigation on graded slopes must comply with the following minimum guidelines:
 - a. The surface of all cut slopes more than 5 feet in height and fill slopes more than 3 feet in height shall be protected against damage by erosion by planting with grass or groundcover plants. Slopes exceeding 15 feet in vertical height shall also be planted with shrubs, spaced at not to exceed 10 feet on centers; or trees, spaced at not to exceed 20 feet on centers, or a combination of shrubs and trees at equivalent spacing, in addition to the grass or groundcover plants. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site. Plant material shall be selected which will produce a coverage of permanent planting effectively controlling erosion. Consideration shall be given to deep-rooted planting material needing limited watering, maintenance, high root to shoot ratio, wind susceptibility and fire-retardant characteristics. All plant materials must be approved by the building official. (Section J110.3 of the County of Los Angeles Building Code)

Note: Planting may be modified for the site if specific recommendations are provided by both the Soils Engineer and a Landscape Architect. Specific recommendations must consider soils and climatic conditions, irrigation requirements, planting methods, fire retardant characteristics, water efficiency, maintenance needs, and other regulatory requirements. Recommendations must include a finding that the alternative planting will provide a permanent and effective method of erosion control. Modifications to planting must be approved by the Building Official prior to installation.
 - b. Slopes required to be planted by Section J110.3 shall be provided with an approved system of irrigation that is designed to cover all portions of the slope. Irrigation system plans shall be submitted and approved prior to installation. A functional test of the system may be required. For slopes less than 20 feet in vertical height, hose bibs to permit hand watering will be acceptable if such hose bibs are installed at conveniently accessible locations where a hose no longer than 50 feet is necessary for irrigation. The requirements for permanent irrigation systems may be modified upon specific recommendation of a landscape architect or equivalent authority that, because of the type of plants selected, the planting methods used and the soil and climatic conditions at the site, irrigation will not be necessary for the maintenance of the slope planting. (Section J110.4 of the County of Los Angeles Building Code)
 - c. Other governmental agencies may have additional requirements for landscaping and irrigation. It is the responsibility of the applicant to coordinate with other agencies to meet their requirements while maintaining compliance with the County of Los Angeles Building Code.
49. The planting and irrigation systems shall be installed as soon as practical after rough grading. Prior to final grading approval all required slope planting must be well established. (Section J110.7 of the County of Los Angeles Building Code)
50. Landscape irrigation system shall be designed and maintained to prevent spray on structures. (Title 31, Section 5.407.2.1)
51. Prior to rough grade approval this project requires a landscape permit. Landscape plans in compliance with the "Model Water Efficient Landscape Ordinance" Title 23, Chapter 2.7 of California Code of Regulations (AB 1881) must be submitted to the Department of Public Works, Land Development Division. (900 S. Fremont Ave, Alhambra - 3RD Floor, CA 91803 (626) 458-4921). To obtain Landscape permit approved plans and Water Purveyor acknowledgment form must be submitted to the local Building and Safety office.

Best Management Practice Notes (BMP Notes) to be added to all Grading Plans

BEST MANAGEMENT PRACTICE NOTES:

1. Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
2. Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow, swales, area drains, natural drainage courses or wind.
3. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
4. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
8. Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
9. "I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/ or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/ or adequately implement the ESCP may result in revocation of grading and/ or other permits or other sanctions provided by law."

Print Name _____
(Owner or authorized agent of the owner)

Signature _____ Date _____
(Owner or authorized agent of the owner)

The following BMPs as outlined in, but not limited to, the latest edition of the CASQA Construction BMP Online Handbook or Caltrans Stormwater Quality Handbooks (Construction Site BMP Manual), may apply during the construction of this project (additional measures may be required if deemed appropriate by the Project Engineer or the Building Official)

EROSION CONTROL

- EC1 – SCHEDULING
- EC2 – PRESERVATION OF EXISTING VEGETATION
- EC3 – HYDRAULIC MULCH
- EC4 – HYDROSEEDING
- EC5 – SOIL BINDERS
- EC6 – STRAW MULCH
- EC7 – GEOTEXTILES & MATS
- EC8 – WOOD MULCHING
- EC9 – EARTH DIKES AND DRAINAGE SWALES
- EC10 – VELOCITY DISSIPATION DEVICES
- EC11 – SLOPE DRAINS
- EC12 – STREAMBANK STABILIZATION
- EC13 – RESERVED
- EC14 – COMPOST BLANKETS
- EC15 – SOIL PREPARATION/ROUGHENING
- EC16 – NON-VEGETATED STABILIZATION

TEMPORARY SEDIMENT CONTROL

- SE1 – SILT FENCE
- SE2 – SEDIMENT BASIN
- SE3 – SEDIMENT TRAP
- SE4 – CHECK DAM
- SE5 – FIBER ROLLS
- SE6 – GRAVEL BAG BERM
- SE7 – STREET SWEEPING AND VACUUMING
- SE8 – SANDBAG BARRIER
- SE9 – STRAW BALE BARRIER
- SE10 – STORM DRAIN INLET PROTECTION
- SE11 – ACTIVE TREATMENT SYSTEMS
- SE12 – TEMPORARY SILT DIKE
- SE13 – COMPOST SOCKS & BERMS
- SE14 – BIOFILTER BAGS

WIND EROSION CONTROL

- WE1 – WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 – STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 – STABILIZED CONSTRUCTION ROADWAY
- TC3 – ENTRANCE/OUTLET TIRE WASH

NON-STORMWATER MANAGEMENT

- NS1 – WATER CONSERVATION PRACTICES
- NS2 – DEWATERING OPERATIONS
- NS3 – PAVING AND GRINDING OPERATIONS
- NS4 – TEMPORARY STREAM CROSSING
- NS5 – CLEAR WATER DIVERSION
- NS6 – ILLICIT CONNECTION/DISCHARGE
- NS7 – POTABLE WATER/IRRIGATION
- NS8 – VEHICLE AND EQUIPMENT CLEANING
- NS9 – VEHICLE AND EQUIPMENT FUELING
- NS10 – VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 – PILE DRIVING OPERATIONS
- NS12 – CONCRETE CURING
- NS13 – CONCRETE FINISHING
- NS14 – MATERIAL AND EQUIPMENT USE
- NS15 – DEMOLITION ADJACENT TO WATER
- NS16 – TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 – MATERIAL DELIVERY AND STORAGE
- WM2 – MATERIAL USE
- WM3 – STOCKPILE MANAGEMENT
- WM4 – SPILL PREVENTION AND CONTROL
- WM5 – SOLID WASTE MANAGEMENT
- WM6 – HAZARDOUS WASTE MANAGEMENT
- WM7 – CONTAMINATION SOIL MANAGEMENT
- WM8 – CONCRETE WASTE MANAGEMENT
- WM9 – SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 – LIQUID WASTE MANAGEMENT



**COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY/LAND DEVELOPMENT DIVISION**

ACKNOWLEDGMENT TO EMPLOY CONSULTANTS
(To be completed by the legal owner)

Grading Permit No.: _____ Date Issued: _____ Dist. No.: _____

Address or Location of Property: _____

Tract No. or Parcel Map No. _____ Lot No(s). _____

Owner's Name: _____
(Print)

The owner of the above described property hereby acknowledges by signature that, as a condition of the grading permit and during all work authorized by said permit, registered civil engineer(s) will be retained to perform the duties of the Design Engineer and Field Engineer in accordance with requirements of Appendix J, County of Los Angeles Building Code, and further, that a soil engineer and/or engineering geologist (when required) will be employed to make tests, investigations and file the reports that may be required for compliance with said Code.

Owner(s) _____ Date: _____ Telephone: _____
(Signature)

Mailing Address: _____

City: _____ State: _____ Zip: _____

Design Engineer _____ Reg. No. _____

Firm: _____ Telephone: _____

Address: _____ City: _____ State: _____ Zip: _____

Field Engineer _____ Reg. No. _____

Firm: _____ Telephone: _____

Address: _____ City: _____ State: _____ Zip: _____

Soils Engineer _____ Reg. No. _____

Firm: _____ Telephone: _____

Address: _____ City: _____ State: _____ Zip: _____

Engineering Geologist _____ Reg. No. _____

Firm: _____ Telephone: _____

Address: _____ City: _____ State: _____ Zip: _____

Contractor of Record _____ License No. _____

Firm: _____ Telephone: _____

Address: _____ City: _____ State: _____ Zip: _____

INSTRUCTIONS: THIS DOCUMENT MUST BE COMPLETED AND FILED, TOGETHER WITH DOCUMENT "B", AT THE LOCAL OFFICE OF BUILDING AND SAFETY PRIOR TO ISSUANCE OF THE GRADING PERMIT.



**COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY/LAND DEVELOPMENT DIVISION**

ACCEPTANCE OF EMPLOYMENT BY CONSULTANTS
(To be completed by the consultants)

Grading Permit No. _____ Date Issued _____ Dist. No. _____

Address or Location of Property _____

Tract No. or Parcel Map No. _____ Lot No(s). _____

Owner(s) _____ Telephone _____

Mailing Address _____ City _____ State _____

The undersigned verify by signature(s) that they have been retained as consultant(s) and agree to notify the Building Official, within 48 hours if such employment is terminated. It is further understood that all required reports are to be submitted to the Building and Safety/Land Development Division by each consultant.

Design Engineer _____ Reg. No. _____
(Signature)

Firm _____ Telephone _____

Address _____ City _____ State _____ Zip _____

Field Engineer _____ Reg. No. _____
(Signature)

Firm _____ Telephone _____

Address _____ City _____ State _____ Zip _____

Soils Engineer _____ Reg. No. _____
(Signature)

Firm _____ Telephone _____

Address _____ City _____ State _____ Zip _____

Engineering Geologist _____ Reg. No. _____
(Signature)

Firm _____ Telephone _____

Address _____ City _____ State _____ Zip _____

Contractor of Record _____ License No. _____

Firm _____ Telephone _____

Address _____ City _____ State _____ Zip _____

INSTRUCTIONS: THIS DOCUMENT MUST BE COMPLETED AND FILED, TOGETHER WITH DOCUMENT "A", AT THE LOCAL OFFICE OF BUILDING AND SAFETY PRIOR TO ISSUANCE OF THE GRADING PERMIT.



County of Los Angeles - Department of Public Works
GMED PLAN CHECK REFERRAL FORM

TO BE COMPLETED BY COUNTY PLAN CHECKER ONLY

---- APPLICANT TO UPLOAD THIS SHEET TO GMED ----

Plan Checker Name RaChelle Taccone District Office 99.00

BSD Permit Case: BLD _____ GRAD 211213000554

Valuation: BLD \$ _____ GRAD 15815 (cubic yards)

Linked GMED Plan Case: ESTU _____

Address: _____ APN 3203014901

Multiple Plan Checks on subject site (Please Verify in EpicLA/DAPTS)

Initial reason for referral:

Seismic Hazard Zone

Liquefaction / Seismically Induced Landslide / Fault Zone

Slope Stability

Over-Steeped Slopes / Landslide / Debris Flow

Retaining Walls or Structures

Basement / Tiered / Soldier Piles / Tie-Back / Geo-Grid

Foundations Recommendations

Piles / Caissons / Mat / Settlement / Repairs / Soil-Cement Columns

Temporary Conditions

Shoring / Steep excavations / Slot-Cuts / Tie-Backs

Low Impact Development

Soil Infiltration Rate / Infiltration Report / LID BMP Location and Depth

Grading

Fill and Bearing Recommendations / Soil-Improvements / Geology

Other (Please Specify)

infiltration rate for basin (LID not required at this stage)

Please Note:

This initial referral reason *may not limit* the extent of GMED review. Additional geologic and geotechnical conditions may become apparent after GMED review of the plans, reports, and references.

Please verify with your Plan Checker:

GMED plan check fees will need to be paid prior to start of plan check. Once invoiced, please pay GMED fees online through EpicLA or at the Building and Safety District Office.



**County of Los Angeles Department of Public Works
Geotechnical and Materials Engineering Division**

GEOLOGY AND SOILS ENGINEERING – DEVELOPMENT REVIEW SUBMITTALS

Requirements Prior to Submittal

Plan check applications must be filed with Building and Safety or Land Development Division and an Agency Referral form provided BEFORE any documents can be accepted for review by GMED. For questions regarding the submittal or review process, please contact GMED [at GMEDSubmittals@dpw.lacounty.gov](mailto:GMEDSubmittals@dpw.lacounty.gov), or (626) 4584923.

GMED Submittals for BUILDING AND SAFETY (BSD)

If your BSD application is through EPIC LA/CSS, log in to EpicLA/CSS: <https://epicla.lacounty.gov/SelfService/#/home>. First-time users of EpicLA/CSS are required to create site login. Please register on-line. Once logged in, click “Apply” then under the “Plan” heading click “Geotechnical Study.” You will receive an ESTU# for your GMED plan check.

If your BSD application is through a Contract City system, then submit documents to GMED here: <https://dpw.lacounty.gov/apps/esubmissions/gme/default.aspx>. First-time users are required to create a site login.

PDF file format for GMED Submittal

Please include all plan sheets into one PDF file.
Please name the file in the following format:

For Agency Referral Forms:

Name file as: “*Agency Referral Form*”

For Plans:

“YYYYMMDD – [Type of Plan]”

Submittal Date- example: '20190101 – Grading Plan’

For Reports:

“YYYYMMDD – [Firm Name]”

Submittal Date- example: '20190101 – Best Geotechnical Company’



LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION

PRE-GRADING MEETING CHECKLIST

This checklist is to be completed by the plan checker upon grading plan approval to identify all special and unusual conditions associated with the project, including flood hazards, geotechnical concerns, and agency approvals and conditions. Review this checklist along with the grading plans and grading folder prior to the pre-grading meeting.

Bring the approved grading plans to the pre-grading meeting and review this document and the plans during the meeting. Provide a copy of the "Contractor's Guide to Grading in Los Angeles County", along with copies of the "Engineered Grading Consultant Statement" and "Engineered Grading Contractor Statement" forms to the Permittee. All present shall sign in on the Attendance form. The Permittee shall sign the statement at the end of this form. Collect business cards if necessary.

SITE ADDRESS: 5300 W Avenue I

GR: GRAD211213000554 DATE: _____

INSPECTOR: _____

Grading Permit - Policy and Procedures

- Approved grading plans must be onsite at all times.
- Refer to *Contractor's Guide to Grading* and discuss the following:
 - Working Hours
 - Right of Entry
 - Expiration of grading permit
 - Inspection Request Policy
 - Responsibilities of consultants, including: Field Engineer, Soils Engineer, and Geologist (if applicable)

Start Date: _____

Milestone grading dates: _____

Estimated Rough Grade date: _____

Estimated Final Grading date: _____

Discuss anticipated staging/phasing of grading operations

Abandoned jobsites:

- Where the inspector determines a hazard exists, the permit will be expired and the bond may be used by the County to remedy the site.
- Where the inspector determines no hazard exists, the bond will be held (but not used) and the permit may be expired.

Change/termination of consultants requires updated Documents A & B, as well as a letter from the new consultant indicating that he/she accepts all responsibility for the project as the engineer of record.

Called/Required Grading Inspections:

- Refer to *Contractor's Guide for Grading* for descriptions of each inspection:
 - Initial (brushing, bottom of excavations/keys)
 - Subdrains
 - Drainage Devices
 - In-grading inspections by Field Engineer (Report of Grading Activities)
 - In-grading inspections by soils engineer
 - Revisions for changes from approved grading plans
 - Rough grade
 - Final grade

Drainage devices, storm drains and lot drainage

Privately maintained drainage devices are inspected by the Grading Inspector or the Field Engineer, either as a separate inspection, during rough grade inspection, or during final grade inspection (dependant upon the device).

- Publicly maintained storm drains, connections to a Los Angeles County Flood Control District (LACFCD) drain, and work within LACFCD easements are inspected by a Land Development Division Construction Section Inspector.
- Building pads shall have a minimum slope of 2% for rough grade approval. For final grade, 5% slope away from the structure and 1% slope around the structure are required.
- All drainage devices and graded swales will be flow tested prior to approval.

Geology and Soils

- Copies of the approved soils and geology reports must be onsite at all times.
- Submit in-grading reports to:
 - Geotechnical and Materials Engineering Division and District Office
 - Directly to Grading inspector
- Review the plans to discuss scheduling and construction of the following, as applicable:
 - Landslide removal/remediation
 - Alluvial/over excavation removals
 - Benching
- Specialized fills and retaining structures, including buttress fills, stabilization fills, shear keys, and geogrid walls require continuous inspection by the soils engineer.
- Locations of all oversized material in fill or stockpiled on site must match the location shown on the plans.
- Utility trenches: *Materials from trench excavations may not be dumped over slopes.* Utility trenches must be properly compacted; compaction reports must be available upon request.

Import/Export, Brush/Tree, and Rock Removal

- Demolition permits must be obtained prior to start of construction.
- The borrow/receiving site of all exported fill must have an appropriate grading permit to receive such fill.
 - The export site must match the location shown on the plans and the Recycling and Reuse Plan from Environmental Programs Division.
 - Dump tickets must be made available upon request.
 - If the Recycling and Reuse plan calls for a balanced site and export is needed based on field conditions, a revised Recycling and Reuse plan will be required.
- Brush removal: material must be disposed of properly and *may not be mixed in with proposed fill material.* Onsite disposal areas must be clearly shown on the plan and approved by the inspector. If the material will be disposed of offsite, dump tickets must be made available upon request.

NPDES Compliance

- The *EROSION CONTROL SEASON* (rainy season) is October 15-April 15 of each year.
 - During this time, the approved Erosion and Sediment Control Plans must be onsite at all times.
 - Measures must be in place by October 15.
- A "Stop Work Notice" will be issued if measures are not in place.
- BMPs must be designed to protect adjacent property, road rights-of-way, storm drains, and drainage courses from sediment transport.
- For unpaved roads, sandbags for check dams may be stockpiled onsite, but must be in place within 48 hours of storm events with a 50% chance of predicted precipitation.
 - Developer/Contractor Self-Inspection Form* must be onsite at all times. BMPs must be inspected routinely and before and after major storm events, and repaired as needed.
 - The plans must reflect the *actual site conditions* as of October 1 of each year, and be updated as site conditions change.
 - Significant changes of site condition warrant revised Erosion and Sediment Control plan submittal.

- If the site disturbs an area 1 acre or greater, the State SWPPP must be onsite at all times, and measures must be in place year-round, including:
 - Proper waste management (liquid, solid, hazardous, septic waste and contaminated soil)
 - Stabilized construction entrance.
 - Vehicle/Equipment cleaning, fueling, and maintenance.
 - Temporary clear water diversion for natural streams (may require Fish & Wildlife approval).
 - Dewatering of non-stormwater flows.
- A Stormwater Mitigation Plan is required: Low Impact Development Measures (LID). All treatment devices must be installed and “No Dumping – Drains to Ocean” stencil must be on all drain inlets prior to final grading inspection.

Request Survey Stakes for the following:

- Property lines:
 - Temporary staking at ROUGH
 - Permanent marking at FINAL
- Restricted Use Areas and Building Restriction Areas
- Road Right-of-Way
- Easements
- Pad elevations:
 - ROUGH - Blue top located at center of pad
 - FINAL
- Drainage: slopes, high points, flow lines, top of grates

Planting and Irrigation

- If Planting and Irrigation plans (Section J110 – Slope Planting) are required:
 - Review approved plans.
 - Planting and irrigation systems must be installed as soon as practical after rough grading.
 - Sprinkler heads will be tested to ensure adequate slope coverage.
 - Final grading will not be approved and the grading bond will not be released until the slope planting is well established.*
- If Landscape Plans are required: (see approved plans, notes will indicate if Landscape Permit is required)
 - The plans must be submitted to Land Development Division and approved prior to Rough Grade approval.
For final grading approval a registered Landscape Architect must inspect and submit a completed Water-Efficient Landscaping Certification.
 - Final grading will not be approved and the grading bond will not be released until the planting is well established.*

Special Conditions

- Retaining walls are required for this project. Building permit(s) must be obtained prior to construction of any retaining wall. Temporary excavations must comply with soils engineer’s recommendations and Cal/OSHA requirements.
- An Elevation Certificate is required:
 - All construction at or below elevation _____ is subject to flooding and must be flood-proofed. This includes all structures and mechanical equipment.
 - The Elevation Certificate must be approved by the plan checker prior to framing.
- Offsite work:* Offsite covenants exist for this site. All work shown on adjacent offsite property must match the approved plans and recorded offsite covenants in the grading file. Revisions to work offsite must be reviewed by the grading plan checker.
- Private/utility easements:* This project has work proposed within private/utility/access easements. All work shown within easements must match the approved plans. Changes in these areas may not comply with the intended use of the easement and must be reviewed by the grading plan checker.
- This project includes removal of hazardous material and/or contaminated soil.

- Review the *Health and Safety Plan* for this project. All construction work must conform to the included Health and Safety Plan. The requirements of the plan are intended to protect the health and safety of construction workers and the general public.
- Hazardous material must be exported to a proper waste disposal site. Dump tickets must be provided upon request to verify quantity and location of exported material. *Capping of oil wells*: Inspections are performed by the State Division of Oil and Gas. Upon completion, the State will issue a letter of approval to the oil company and permittee. This approval must be submitted to the inspector prior to rough grade approval.
- CUP/Plot Plan/Tract Map/Parcel Map:
 - Invite Regional Planning representative to pre-grading meeting.**
 - Review Exhibit "A" and CUP conditions, Tract/Parcel Map and conditions, or Plot Plan.
 - Grading-related conditions: _____

- Oak Tree Permit:
 - Invite LA Co. Fire Dept. Forestry Div. representative to pre-grading meeting.**
 - Review plans and discuss proposed encroachments and removals.
 - Protected trees must be identified and fenced around the protected zone (5' outside canopy)
 - Encroachments/removals not covered under the Oak Tree Permit will require revised approval from Regional Planning.
 - Special conditions: _____

- This project is located in a contract city:
 - Conditions of city approval: _____

- This project is located in the Coastal Zone:
 - Invite Coastal Commission representative to pre-grading meeting.**
 - Conditions: _____

- Fish and Wildlife approval:
 - Invite Department of Fish and Wildlife representative to pre-grading meeting.**
 - Time Restrictions: _____
 - Special conditions: _____

- Army Corps of Engineers approval:
 - Invite Army Corps of Engineers representative to pre-grading meeting.**
 - Time Restrictions _____
 - Special Conditions: _____

- Los Angeles County Fire Department:
 - Invite Fire Department representative to pre-grading meeting.**
 - The access driveway/road must comply with the Fire Dept approved access plan. Changes in slope, width, turning radius, or turnaround will require a revised approval from the Fire Dept.
 - This site is located in a Very High Fire Hazard Severity Zone (VHFHSZ). A permit from the Fire Department is required for grading work in a VHFHSZ. The permit outlines the required precautions necessary during construction (such as spark arresters on grading equipment).

- Land Development Division approval:
 - Invite Land Development Division representative to pre-grading meeting.**
 - Allows for: _____
 - _____
 - _____

- CALTRANS approval:
 - Invite CALTRANS representative to pre-grading meeting.**
 - Special Conditions: _____
 - _____
 - _____

- Certifications Required (Original Documents Required):
 - Engineered Grading Consultants Forms(Rough and Final Grading)
 - GMED Rough Grade Approval (Rough)
 - Green Building Landscaping Certification (Final)
 - Contractors Certification (Rough & Final)
 - Water Efficient Landscape Worksheet (Rough)
 - Water Efficient Landscape Worksheet (Final)

Special Construction Problems/Considerations

- _____
- _____
- _____
- _____
- _____
- _____
- _____
- _____
- _____

”QUESTIONS AND ANSWERS”

As the Contractor/Permittee of record, I have attended the Pre-Grading Meeting and I have received a copy of the “Contractor’s Guide to Grading in Los Angeles County”. I understand the approved plans must be kept on the job site at all times and all work performed shall at the site shall comply with all County codes, ordinances, and the procedures provided in the “Contractor’s Guide”.

Permittee signature

Date



**LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION**

PRE-GRADING MEETING ATTENDANCE LOG

	Name (Please Print)	E-mail Address	Phone Number
Grading Inspector			
Grading Plan Checker			
Drainage Plan Checker			
Owner/Developer			
Grading Superintendent			
Grading Contractor			
Field Engineer			
24-Hour Contact			
Soils Engineer			
Engineering Geologist			
Field Technician			
Land Development Inspector			
City Representative			
Utility Representative			
Adjacent Property Owner			
Easement Representative			
Forestry			
Fish & Wildlife			
Fire Department			
Other			



LOS ANGELES COUNTY DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION
**CONTRACTOR'S GUIDE TO GRADING
IN LOS ANGELES COUNTY**

The approved grading plans must be onsite at all times.

Inspection Request Policy: Call the local Building and Safety District Office at least 24 hours in advance to request an inspection. See "REQUIRED GRADING INSPECTIONS" on the following page. Include job address, type of inspection, requested date of inspection, contact name and telephone number.

Inspectors are available for phone calls and counter appointments between 8 and 9 am each day. You may call or come into the office at that time with general questions or to determine an approximate inspection time.

Expiration of Permit: Grading permits shall expire if work is not started within 180 days of permit issuance. Additionally, permits shall expire if the work is suspended or abandoned for a period of 180 days. *In order to prevent expiration of the grading permit, an inspection must take place at a minimum of once every 180 days (6 months).*

Working Hours: 6:30 am to 8 pm Monday through Saturday. Primary enforcement will be by the Sheriff. Please note that other agencies may require more restrictive working hours.

Right of Entry: The inspector shall have access to the site for the purpose of inspecting the work (J103.7.7). Anyone who interferes with the right of entry may be considered guilty of a misdemeanor.

RESPONSIBILITIES OF CONSULTANTS

Permittee: The permittee must supervise the construction to ensure the work is being performed according to the approved plans. He/she must notify the consultants when a professional inspection is required. See "REQUIRED GRADING INSPECTIONS" on the following page. The permittee also acts as the coordinator between the consultants, the contractor and the local Building and Safety office (including the inspector and the plan checker). He/she must notify the inspector of any changes to the plan and coordinate the approval of those changes with the consultants. **In the event there is a change of Contractor of Record, Field Engineer, Design Engineer, Soils Engineer, Engineering Geologist, or Bonding Agency, the permittee shall notify the Building and Safety District Office and submit updated and completed Employment of Consultant forms.**

Each consulting engineer shall provide professional inspection within such engineer's area of technical specialty. The specific inspections required are outlined below.

Field Engineer: Routine field inspections and reports certifying the grading work is in compliance with the approved grading plans and all applicable ordinances and requirements. See *In-Grading Inspections* on the following page for specific instructions. If revised plans are required during the course of the work, they must be prepared by the design engineer.

Soils Engineer: Observation during grading and testing for required compaction. Specifically, the soils engineer must be present during preparation of the natural ground and placement and compaction of the fill to verify that such work is being performed in accordance with the approved plans. Revised recommendations during construction must be submitted to the permittee, the civil engineer, and the inspector or plan checker as needed.

Engineering Geologist: Inspection of the bedrock excavation to determine if conditions encountered are in conformance with the approved report. Revised recommendations during construction must be submitted to the soils engineer.

REQUIRED GRADING INSPECTIONS

Initial: When the site has been cleared of vegetation and unapproved fill and it has been scarified, benched or otherwise prepared for fill. *No fill shall have been placed prior to this inspection.* Measures (sandbags, slope protection, etc.) must be in place during the rainy season to prevent erosion on brushed areas.

Subdrains: Where required for fill slopes, subdrain inspection is required when the subdrain and outlet have been constructed and surveyed for line and grade, *prior to placement of backfill.*

Drainage Devices: For devices with reinforced concrete (swales, terrace drains, etc.), a rebar inspection is required prior to placement of concrete. Other drainage devices will be inspected for installation and function at Rough Grade inspection.

In-Grading Inspections:

- **Field Engineer:** Per LACBC Section J105.11, unless otherwise directed by the Building Official, the Field Engineer must prepare and submit routine inspection reports with the Building Official as follows:
 1. Bi-weekly during all times when grading of 400 cubic yards or more per week is occurring on the site;
 2. Monthly, at all other times; and
 3. At any time when requested in writing by the Building Official.

These reports will certify to the Building Official that the Field Engineer has inspected the grading site and related activities and has found them in compliance with the approved grading plans and specifications, the building code, all grading permit conditions, and all other applicable ordinances and requirements. The reports must conform to the standard "Report of Grading Activities" form, which is included in this package or may be obtained by visiting <http://dpw.lacounty.gov/bsd/dg/default.aspx>. Failure to submit the required reports may result in a Stop-Work Notice to be issued by the Building Official.

- **Soils Engineer:** Per LACBC Section J105, the soils engineer or field technician shall provide professional inspection including observation during grading and testing for required compaction. The technician must provide inspections during the preparation of the natural ground and the placement and compaction of the fill and verify the work is being done in accordance with the approved plans. Per Section J107.8, a representative shall be onsite for the *entire* fill placement and compaction for all fill slopes 30' high/deep and over, or for slopes with grades steeper than 2:1. Per Section J107.9, the soil must be tested to determine the density and verify compliance of the soil properties with the design requirements, including soil type and shear strength. In-progress reports (typically monthly reports) must be submitted for review. Failure to submit the required reports may result in a Stop-Work Notice to be issued by the Building Official.

Submit in-progress reports:

- Directly to your inspector for review.
- To Geotechnical & Materials Engineering Division and the District Office for review.

Upload electronically to <https://dpw.lacounty.gov/apps/esubmissions/gme/default.aspx>

Revisions: The inspector must be notified of all plan revisions. Contact the inspector through his/her voicemail or the Inspection Request Line to inform him/her of the proposed revision. When a substantial design change is proposed, the inspector may request the grading plan checker to review and approve the revision. It is the responsibility of the Permittee to process the revision with the plan checker. Additional plan check fees may be incurred for this review time.

Two weeks prior to the final grading inspection, and "As-Built" plan must be submitted to the inspector. The As-Built must incorporate all minor field changes (approved by the inspector in the field) and major plan revisions (approved by the plan checker). Failure to obtain approvals for plan revisions and failure to submit As-Built plan may result in delays in obtaining grading approval, Certificate of Occupancy, and release of grading bond.

Rough: When approximate final elevations have been established. All drainage devices necessary for the protection of the building site from flooding must be installed and functional. The building pad must drain properly, and berms must be installed at the top of all fill slopes. In addition, the Engineered Grading Consultant Statement and Contractor Statement for rough grading must be submitted. *Original documents are required. Copies and faxes will not be accepted.* Several other agency approvals may be required prior to rough grade approval, including: Geotechnical & Materials Engineering Division approval, Land Development Division (Construction Section) approval of street and storm drain improvements, and Land Development Division approval of Landscape & Irrigation plans.

Final: When grading has been completed, all drainage devices necessary to drain the building pad are installed, slope planting is established and irrigation systems are installed. If applicable, all treatment devices must be installed and stenciled with “No Dumping – Drains to Ocean stencil for NPDES/LID compliance. The Engineered Grading Consultant Statement and Contractor Statement for final grading must be submitted. *Original documents are required. Copies and faxes will not be accepted.* If required, all encroachment and connection permits must have final sign off from Land Development Division (Construction Section). The Certificate of Occupancy for the structure will not be issued and the grading bond (if required) will not be released until Final Grading is approved.

OTHER CONSIDERATIONS DURING GRADING

Erosion And Sediment Control: During the rainy season of October 15 to April 15, measures must be taken to ensure a clean construction site. Best Management Practices (BMPs) must be in place in accordance with the approved Erosion and Sediment Control plan. Failure to comply will result in a “Stop Work Notice”. The *Developer/Contractor Self-Inspection Form* must be onsite at all times. BMPs must be inspected routinely and before and after major storms events, and repaired as needed. BMPs must be installed to protect adjacent property, road right-of-ways, storm drains, and water courses from sediment transport. The Erosion and Control Plan must be updated as needed during construction to reflect current site conditions.

In addition, if the site disturbers 1 acre or greater or as determined by the Building Official, a State Storm Water Pollution Prevention Plan is required. Year-round measures for waste management must be in place at all times at the site. This includes proper waste management, stabilized construction entrance, materials pollution control, and other non-stormwater measures such as dewatering.

Elevation Certificates: If required, the elevation certificate must be completed by a Licensed Land Surveyor, Civil Engineer, or Architect authorized by law to certify elevation information.

In general, for slab-on-grade construction in which the top of slab elevation must be above the base flood elevation, the elevation certificate must be submitted and approved by the plan checker prior to framing. This may vary depending on the building diagram. Contact the surveyor of record or the plan checker for more site-specific instructions.

Hazards: The inspector may issue a written “Stop Work Order” at any stage of construction if he/she determines that the approved grading is likely to endanger any public or private property. The inspector will allow the work to continue once he/she feels adequate safety precautions or corrective measures have been taken.



**COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY / LAND DEVELOPMENT DIVISION**

ENGINEERED GRADING CONSULTANT CERTIFICATION

(Submit to the local office of Building and Safety prior to Rough Inspection)

Job Address / Tract: 5300 W Avenue I City: _____ Permit No.: _____

Owner: _____ Contractor: _____

II. ROUGH GRADING - COMPLETION OF WORK

BY FIELD ENGINEER

Based upon field observations, rough grading of the lot(s) listed below has been completed in conformance with Section J105 of the Los Angeles County Building Code. The work includes, but is not limited to, the following: grading to approximate final elevations; staking of property lines; location and gradient of cut and fill slopes; construction of required drainage devices. Building pads are free from flood hazard in conformance with Section 110 of the Los Angeles County Building Code.

Latest approved plan revision dated: _____

Lot No.(s): _____

Other Areas: _____

Remarks: _____

Engineer: _____ Reg. No.: _____ Date: _____
(Signature)

BY SOILS ENGINEER

Based upon tests and observations, the earth fills placed on the following lots were installed upon properly prepared base material and compacted in compliance with requirements of Section J105 of the Los Angeles County Building Code. Fill slope surfaces have been compacted and buttress fills or similar stabilization measures have been installed in accordance with my recommendations as approved by the Building Official. Sub-drains have been provided where required, and locations of said sub-drains are shown on as-built plans and/or rough grade reports dated _____.

See report dated _____ for compaction test data and procedure, recommended allowable soil bearing values, and other special recommendations.

Lot No.(s): _____

EXPANSIVE SOILS (YES) (NO) LOT No.(s): _____

BUTTRESS FILLS (YES) (NO) LOT No.(s): _____

REINFORCED EARTH WALLS (YES) (NO) LOT No.(s): _____

RESTRICTED USE AREAS (YES) (NO) LOT No.(s): _____

Remarks: _____

Engineer: _____ Reg. No.: _____ Date: _____
(Signature)



COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY / LAND DEVELOPMENT DIVISION

ENGINEERED / REGULAR GRADING
CONTRACTOR CERTIFICATION

(Submit to the local office of Building and Safety prior to Rough and Final Inspection)

Grading Permit No.: _____ Date Issued: _____ Dist. No.: _____

Address or Location of Property: 5300 W Avenue I

Tract No. or Parcel Map No. _____ Lot No(s). _____

Owner's Name: _____
(Print)

The grading of the site listed above, or work as set forth below, was performed in accordance with the approved plans and the requirements of all applicable codes, unless otherwise noted.

List all work performed by the undersigned contractor.

Four horizontal lines for listing work performed.

If the above-cited work does not comply with the approved plans and code, list below wherein the work does not comply.

Four horizontal lines for listing non-compliance.

Grading Contractor: _____ License No.: _____
(Print)

Signature

Date

